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RECORD OWNER:

BERC HOMES INC
P.O. BOX 642
TALLMAN, NY 10982

APPLICANT:

REAL DEAL MANAGEMENT
178 ROUTE 59
AIRMONT, NY 10911

INDUSTRIAL PARK DISTRICT - IP

ZONE IP- BULK TABLE

	REQUIRED (MIN.)	PROPOSED
LOT AREA (ACRES)	3.0	4.42±
LOT WIDTH (FT.)	125	324±
LOT DEPTH (FT.)	125	537±
FRONT YARD (FT.)	50	138±
ONE SIDE YARD (FT.)	50	59±
BOTH SIDE YARDS (FT.)	100	119±
REAR YARD (FT.)	50	53±
STREET FRONTAGE (FT.)	200	275±

	REQUIRED (MAX.)	PROPOSED
BUILDING HEIGHT (FT.)/(STORIES)	35/	<35/
BUILDING COVERAGE (%)	50	35.5
DEVELOPMENT COVERAGE (%)	80	73± INCLUDED BANKED PARKING

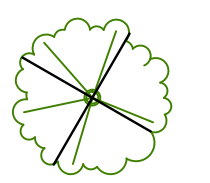
PARKING REQUIREMENTS

PROPOSED WAREHOUSE - 68,240 sf
68,240sf / 600 sf = 114 SPACES REQUIRED

PAVED PARKING = 66 SPACES
BANKED PARKING = 49 SPACES
TOTAL PROPOSED PARKING = 115 SPACES

NOTES:

- 1. THE APPLICANT WILL APPLY TO THE BUILDING DEPARTMENT WITH A SEPARATE APPLICATION IN COMPLIANCE WITH SECTION 12.3. OF THE CODE FOR ALL PROPOSED SIGNAGE.
- 2. THE OWNER OF THE PROPERTY AND/OR ITS SUCCESSORS WILL BE REQUIRED TO INSTALL ALL OR A PORTION OF THE BANKED PARKING SPACES IN ACCORDANCE WITH THE PAVING DETAIL AT THE DIRECTION OF THE BUILDING INSPECTOR.

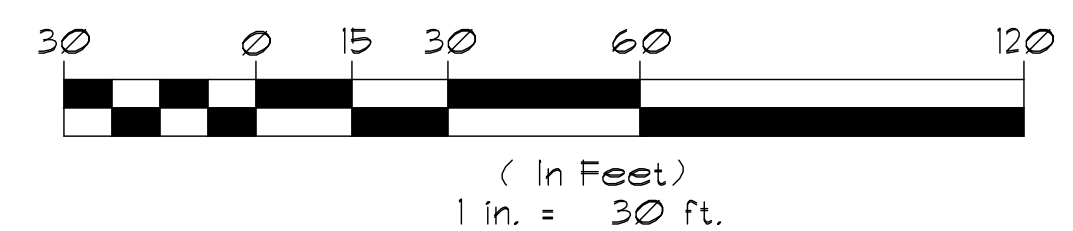


EXISTING TREE TO BE REMOVED

PRECONSTRUCTION MEETING NOTE:

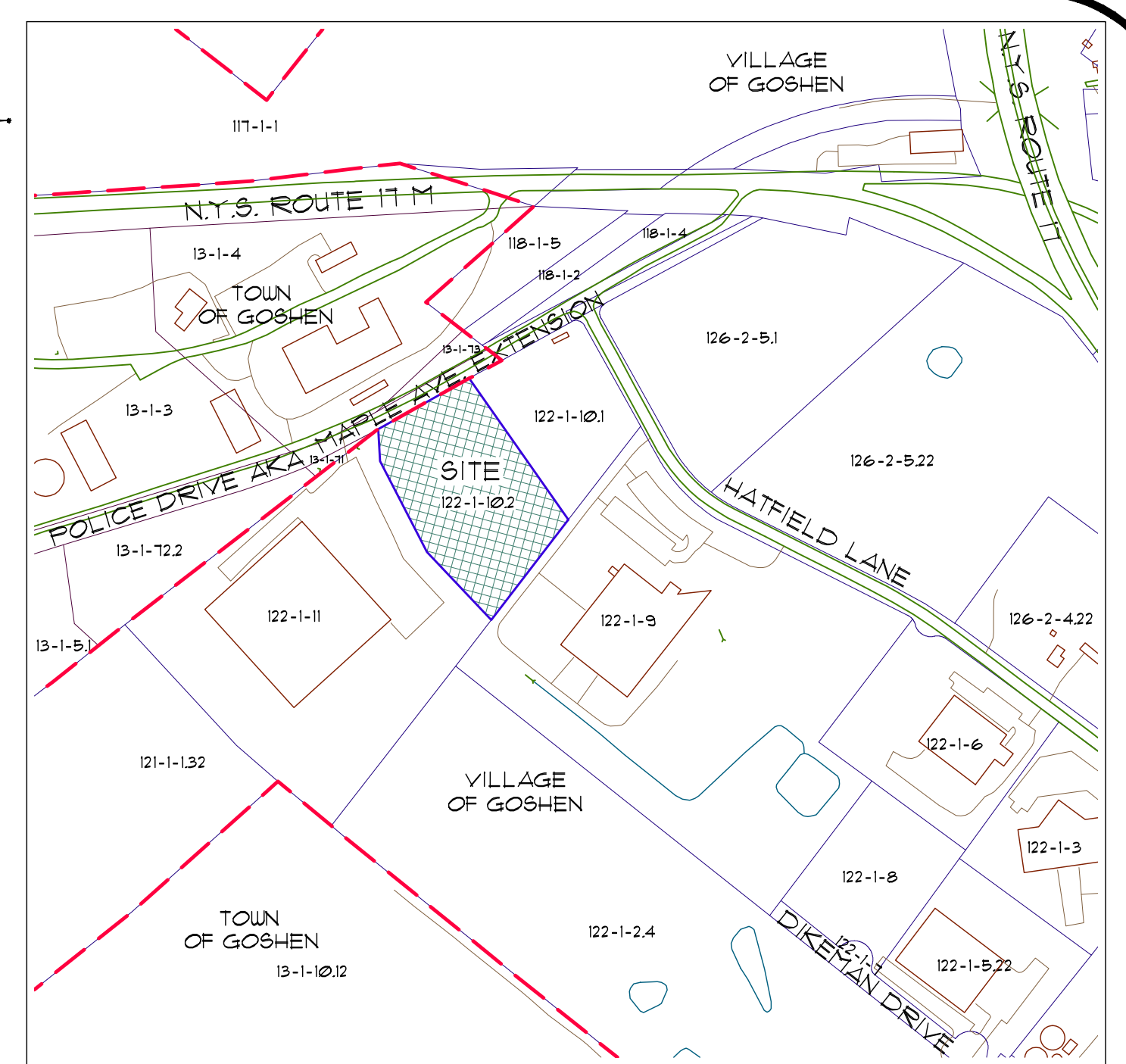
A PRECONSTRUCTION MEETING MUST BE CONDUCTED PRIOR TO START OF ANY WORK ON THE SITE, AND SHALL INCLUDE THE VILLAGE OF GOSHEN DEPARTMENT OF PUBLIC WORKS, VILLAGE ENGINEER, GENERAL CONTRACTOR, SITE CONTRACTOR AND DESIGN ENGINEER.

GRAPHIC SCALE



LOCATION MAP

SCALE: 1" = 400'



- LEGEND
- PROPERTY LINE
 - SETBACK LINE
 - EXISTING STRUCTURE
 - EXISTING EDGE OF PAVEMENT
 - ADJOINING LOT LINE
 - EXISTING CONTOUR LINE MINOR
 - EXISTING CONTOUR LINE MAJOR
 - EXISTING EASEMENTS LINES
 - EXISTING WATER MAIN
 - EXISTING WATER VALVE
 - EXISTING SANITARY LINE
 - EXISTING GAS LINE
 - EXISTING CATCH BASIN
 - EXISTING ELECTRIC LINE
 - EXISTING UTILITY POLE

07/30/21	SUBMIT FOR SIGNATURE
11/10/20	REVISION PER COMMENTS
10/02/20	SUBMIT FOR SIGNATURE
07/10/18	REVISION PER PLANNING BOARD COMMENTS
05/08/18	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES
262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580

ESPOSITO
ARCHITECT
LICENSE NO. 000169
Signature

ONE POLICE DRIVE
WAREHOUSE
VILLAGE OF GOSHEN
TAX MAP: SEC. 122, BLK. 1, LOT 102

SITE PLAN

DRAWING TITLE:
Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Educational Law.

Scale:	Drawing No.:	Project No.:
1"=30'	1 of 13	2180201
CAD Reference:	O.C.H.D. Sheet No.:	D.E.C. Sheet No.:
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LANDS N/F OF
MINOLTA ADVANCE TECHNOLOGY, INC.
SEC. 122 BLK. 1 LOT 9
LOT 2C-3B

SCALE: 1" = 30'

STORMWATER MANAGEMENT PRACTICES
THE PROPERTY OWNER ACKNOWLEDGES RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT AND TREATMENT FACILITIES ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE. FAILING TO OPERATE AND MAINTAIN SAID FACILITIES, THE OWNER ACCEPTS THAT, IN ACCORDANCE WITH NYSDEC REGULATIONS, THE MUNICIPALITY CAN ACCESS THE SITE AT ANY TIME TO PERFORM SUCH REQUIRED MAINTENANCE AND THE COST OF SUCH SERVICE TO BE ADDED TO THE MUNICIPAL TAX LEVY.

EXISTING UNDERGROUND UTILITIES
THE LOCATION OF UNDERGROUND UTILITIES (WATER, GAS, SANITARY SEWER AND FORCE MAIN, ETC) SHOWN HEREON IS BASED ON INFORMATION OBTAINED FROM MULTIPLE PAPER SOURCES. CONTRACTORS ARE ADVISED THAT THIS PLAN MAKES NO REPRESENTATION AS TO THE ACCURACY OF THE LOCATIONS SHOWN. FIELD VERIFICATION OF THE ACTUAL LOCATION OF UNDERGROUND UTILITIES IS REQUIRED WHERE CONNECTIONS ARE PROPOSED AND/OR WHERE CROSSINGS ARE REQUIRED.

SITE GRADING NOTE
EXISTING GRADE CONTOURS SHOWN HEREON ARE BASED ON DATED FIELD SURVEY DATA. AS SUCH, NO REPRESENTATION AS TO THE ACCURACY OF THIS INFORMATION IS MADE. FIELD VERIFICATION BY CONTRACTOR REQUIRED.

FORCE MAIN TESTING NOTE
THE EXISTING FORCE MAIN EXPOSED AND DEPTH SHALL BE VERIFIED, AND IF NEEDED, THE POND AREA SHALL BE MODIFIED IN THE FIELD TO KEEP PROPER DEPTH AND/OR INSULATION MAY BE REQUIRED TO BE INSTALLED FOR FROST PROTECTION. THIS SHALL BE APPROVED, IN THE FIELD, BY THE VILLAGE ENGINEER.

FORCE MAIN TIE-IN
SEE SHEET 6 OF 13 FOR DETAILED INFORMATION FOR CONNECTING NEW SANITARY SEWER FORCEMAIN TO THE EXISTING

1/30/21	FORCE MAIN TIE-IN REFERENCE-SUBMIT FOR SIGNATURE
11/10/20	FORCE MAIN NOTE REVISION
10/02/20	SUBMIT FOR SIGNATURE
1/09/20	FORCE MAIN TESTING NOTE, POND OUTLET REFERENCE
9/27/19	STORMWATER MANAGEMENT PRACTICE NOTE
7/10/2018	MAY 18 REVIEW RESPONSE
5/08/18	PLANNING BOARD REVIEW
4/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES
262 GREENWICH AVENUE
GOSHEN, NY 10924
845.294.0558 Fax 845.294.0580

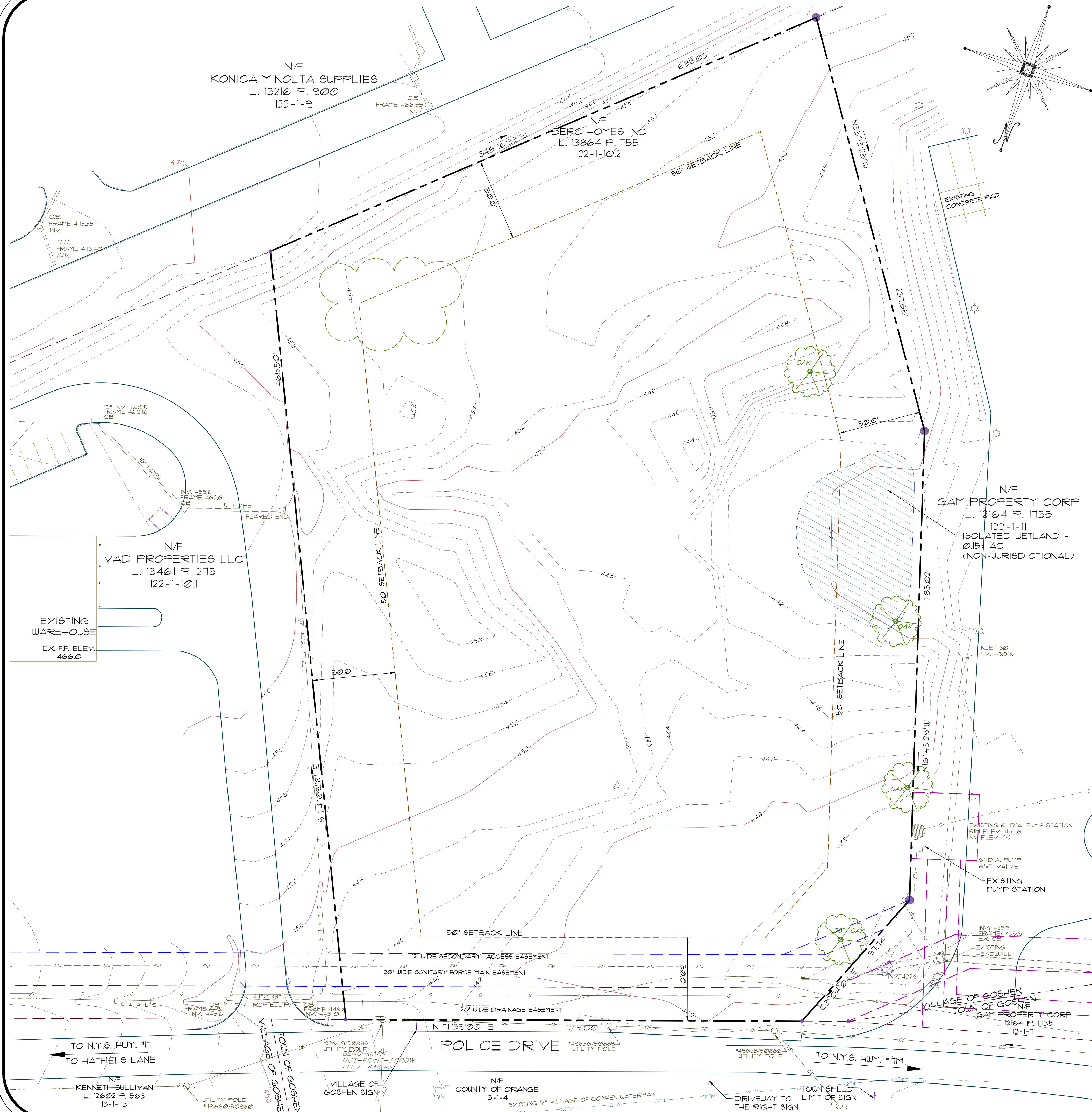
TMD T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
265 ROUTE 302, MIDDLEBURY, NY 10941
PHONE: (845) 361-5471 FAX: (845) 361-5229
E-MAIL: TMD@TMDDEPUY.COM

1 POLICE DRIVE WAREHOUSE
VILLAGE OF GOSHEN
TAX MAP: SEC. 122, BLK. 1, LOT 10.2

**GRADING AND
UTILITY PLAN**

Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 7209, subdivision 2 of the NY State Education Law.

Scale: 1" = 30'	Drawing No.: 2 of 13	Project No.: 21808.01 05008
CAD References: 03008-02 -SITEPLAN	D.C.P.D. Sheet No.: of	SWPPP Sheet No.: of



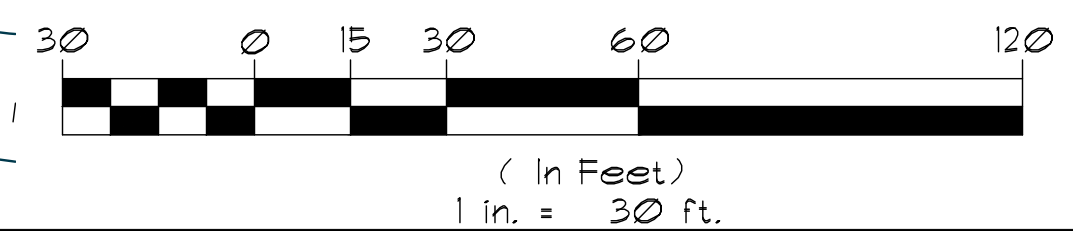
SURVEY AND PARCEL INFORMATION NOTES:

1. MAP REFERENCE: "SUBDIVISION FLAT OF LOT 2C-3C-1 OF LANDS OF WESTGATE-GOSHEN, INC. CREATING LOTS 2C-3C-1A AND 2C-3C-1B LOCATED IN THE VILLAGE OF GOSHEN, ORANGE COUNTY, NEW YORK" DATED DECEMBER 6, 1994, LAST REVISED APRIL 1, 1996 PREPARED BY T.M. DEPUY ENGINEERING & LAND SURVEYING, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON MAY 14, 1996 AS MAP #3331.
2. MAP REFERENCE: "RESUBDIVISION LOT 2C-3C, WESTGATE INDUSTRIAL PARK, VILLAGE OF GOSHEN, ORANGE COUNTY, NEW YORK" DATED AUGUST 19, 1988, LAST REVISION NOVEMBER 30, 1988 AS PREPARED BY ERIKSON & SCHMITT ENGINEERS, P.C. AND FILED IN THE ORANGE COUNTY CLERK'S OFFICE ON FEBRUARY 16, 1989 AS MAP #3331.
3. MAP REFERENCE: "SURVEY - LANDS TO BE CONVEYED TO: API-GOSHEN ASSOCIATES BY WESTGATE-GOSHEN, INC. AND CROW-ZUCKERMAN II, VILLAGE AND TOWN OF GOSHEN, ORANGE COUNTY, NEW YORK" DATED FEBRUARY 16, 1989, LAST REVISION MARCH 5, 1990 AS PREPARED BY VICTOR H. ERIKSON, P.C.
4. MAP REFERENCE: "GENERAL ELECTRIC AS BUILT DRAWING" DATED MAY 25, 1989, LAST REVISION JANUARY 19, 1990 AS PREPARED BY HUDSON ENGINEERING ASSOCIATES CONSULTING ENGINEERS.
5. MAP REFERENCE: "AS-BUILT PLANS, HATFIELD LANE EXTENSION, WESTGATE GOSHEN, INC. VILLAGE OF GOSHEN, ORANGE COUNTY, NEW YORK" DATED MARCH 1989, LAST REVISION DECEMBER 6, 1989 AS PREPARED BY VICTOR H. ERIKSON, P.C.
6. SUBJECT TO A 20' WIDE FORCE MAIN EASEMENT OVER LOT 2C-3C-1A AND LOT 2C-3C-1B IN FAVOR OF LOT 2C-3C-1B, LOT 2C-3C-2, AND LOT 2C-3C-3. THIS FORCE MAIN AND ASSOCIATED PUMP STATION LOCATED ON LOT 2C-3C-2 IS SUBJECT TO A JOINT MAINTENANCE AGREEMENT BETWEEN LOT 2C-3C-1B, LOT 2C-3C-2 AND LOT 2C-3C-3 AS PER EASEMENT OWNERSHIP NOTES #2 AND #3 OF FILED MAP #3331 MAP REFERENCE 2 ABOVE.
7. SUBJECT TO A 20' WIDE DRAINAGE EASEMENT OVER LOT 2C-3C-1A AND IN FAVOR OF THE VILLAGE OF GOSHEN (TO THE EXTENT DESCRIBED IN NOTE #5 BELOW).
8. SUBJECT TO A DRAINAGE EASEMENT OVER LOT 2C-3C-1A IN FAVOR OF THE VILLAGE OF GOSHEN (TO THE EXTENT DESCRIBED IN NOTE #5 BELOW).
9. TOGETHER WITH A 20' WIDE DRAINAGE EASEMENT OVER LOT 2C-3C-1B IN FAVOR OF LOT 2C-3C-1A AND THE VILLAGE OF GOSHEN (TO THE EXTENT DESCRIBED IN NOTE #5 BELOW).
10. TOGETHER WITH A 20' WIDE DRAINAGE EASEMENT OVER LOT 2C-3C-2 IN FAVOR OF LOT 2C-3C-1A, LOT 2C-3C-1B, LOT 2C-3C-2, LOT 2C-3C-3 AND THE VILLAGE OF GOSHEN (TO THE EXTENT DESCRIBED IN NOTE #5 BELOW).
11. TOGETHER WITH A DETENTION POND PARCEL EASEMENT OVER LOT 2C-3C-2 IN FAVOR OF LOT 2C-3C-1A, LOT 2C-3C-1B, LOT 2C-3C-2, LOT 2C-3C-3 AND THE VILLAGE OF GOSHEN (TO THE EXTENT DESCRIBED IN NOTE #5 BELOW).
12. TOGETHER WITH A DETENTION POND PARCEL EASEMENT OVER LOT 2C-3C-3 IN FAVOR OF LOT 2C-3C-1A, LOT 2C-3C-1B, LOT 2C-3C-2, LOT 2C-3C-3 AND THE VILLAGE OF GOSHEN (TO THE EXTENT DESCRIBED IN NOTE #5 BELOW).
13. TOGETHER WITH THE RIGHT TO UTILIZE THE EXISTING DETENTION POND CONTAINED WITHIN THE EASEMENT DESCRIBED IN NOTES #11 AND #12 FOR THE DETENTION OF THE INCREASE OF STORMWATER RUNOFF FROM LOT 2C-3C-1A AND LOT 2C-3C-1B.
14. LOT 2C-3C-1A WILL DISCHARGE ITS SEWER BY GRAVITY TO THE EXISTING GRAVITY SEWER CONTAINED WITHIN HATFIELD LANE AND THEREFORE DOES NOT REQUIRE A SEWER EASEMENT FROM LOT 2C-3C-1B OR ACCESS TO THE JOINTLY OWNED PUMP STATION OR FORCE MAIN DESCRIBED IN NOTE #6 ABOVE.
15. "IN FAVOR OF THE VILLAGE OF GOSHEN" AS DEPICTED IN NOTES #1, #2, #3, #10, #11, AND #12 ABOVE ACKNOWLEDGES THAT THE VILLAGE OF GOSHEN HAS THE RIGHT TO DISCHARGE WATER FROM HATFIELD LANE EXTENSION TO THE EASEMENTS CITED ABOVE AND SHALL HAVE NO RESPONSIBILITY TO MAINTAIN ANY SUCH FACILITIES BUT SHALL HAVE THE RIGHT TO ACCESS THERE TO OVER AND ACROSS EACH OF SUCH LOTS AND ALSO ACROSS THE "SECONDARY ACCESS EASEMENT" PROVIDED FOR LOT 2C-3C-2 AS PER NOTE "B" OF FILED MAP #3331 MAP REFERENCE #1 ABOVE.
16. ANY FACTS AN ACCURATE, UP-TO-DATE TITLE ABSTRACT REPORT MAY REVEAL.

LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- EXISTING STRUCTURE
- EXISTING EDGE OF PAVEMENT
- ADJOINING LOT LINE
- EXISTING CONTOUR LINE MINOR
- EXISTING CONTOUR LINE MAJOR
- EXISTING EASEMENTS LINES
- W --- EXISTING WATER MAIN
- EXISTING WATER VALVE
- FM --- EXISTING SANITARY LINE
- G --- EXISTING GAS LINE
- EXISTING CATCH BASIN
- OE --- EXISTING ELECTRIC LINE
- EXISTING UTILITY POLE

GRAPHIC SCALE



BEFORE YOU DIG, DRILL OR BLAST!

CALL US TOLL FREE
1-800-962-7962
NY INDUSTRIAL CODE RULE 153 REQUIRES NO LESS
THAN
TWO WORKING DAYS NOTICE, BUT NOT MORE THAN
TEN DAYS NOTICE.


UNAUTHORIZED ALTERATION OR ADDITION TO THIS
DRAWING IS A VIOLATION OF SECTION 1209 (2) OF
THE NYS EDUCATION LAW.

THIS DRAWING IS ONE IN A SET OF DRAWINGS AND IS
INCOMPLETE AND INVALID WHEN IT IS SEPARATED
FROM THE SET.

07/30/21	SUBMIT FOR SIGNATURE
11/10/20	REVISION PER COMMENTS
10/02/20	SUBMIT FOR SIGNATURE
07/10/18	REVISION PER PLANNING BOARD COMMENTS
05/08/18	REVISION PER PLANNING BOARD COMMENTS
04/10/18	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580

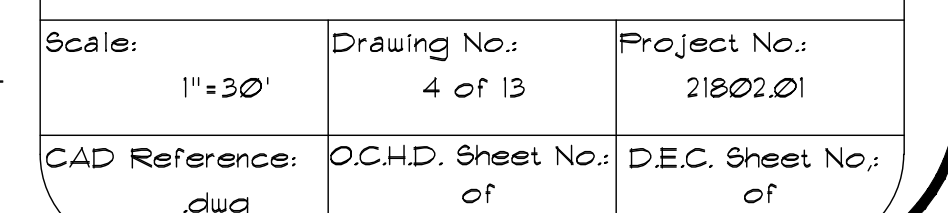
ESPOSITO
ARCHITECT
Signature

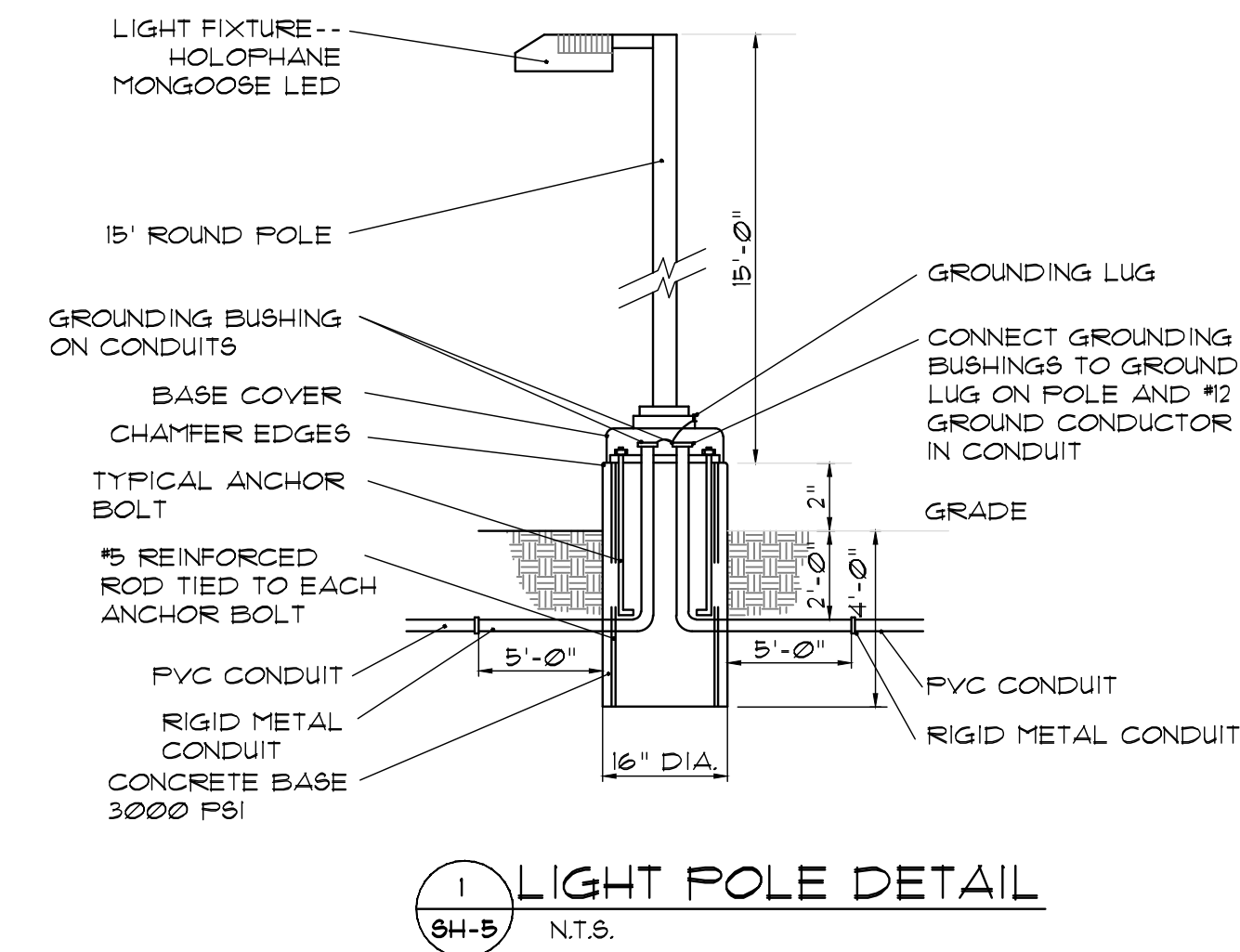
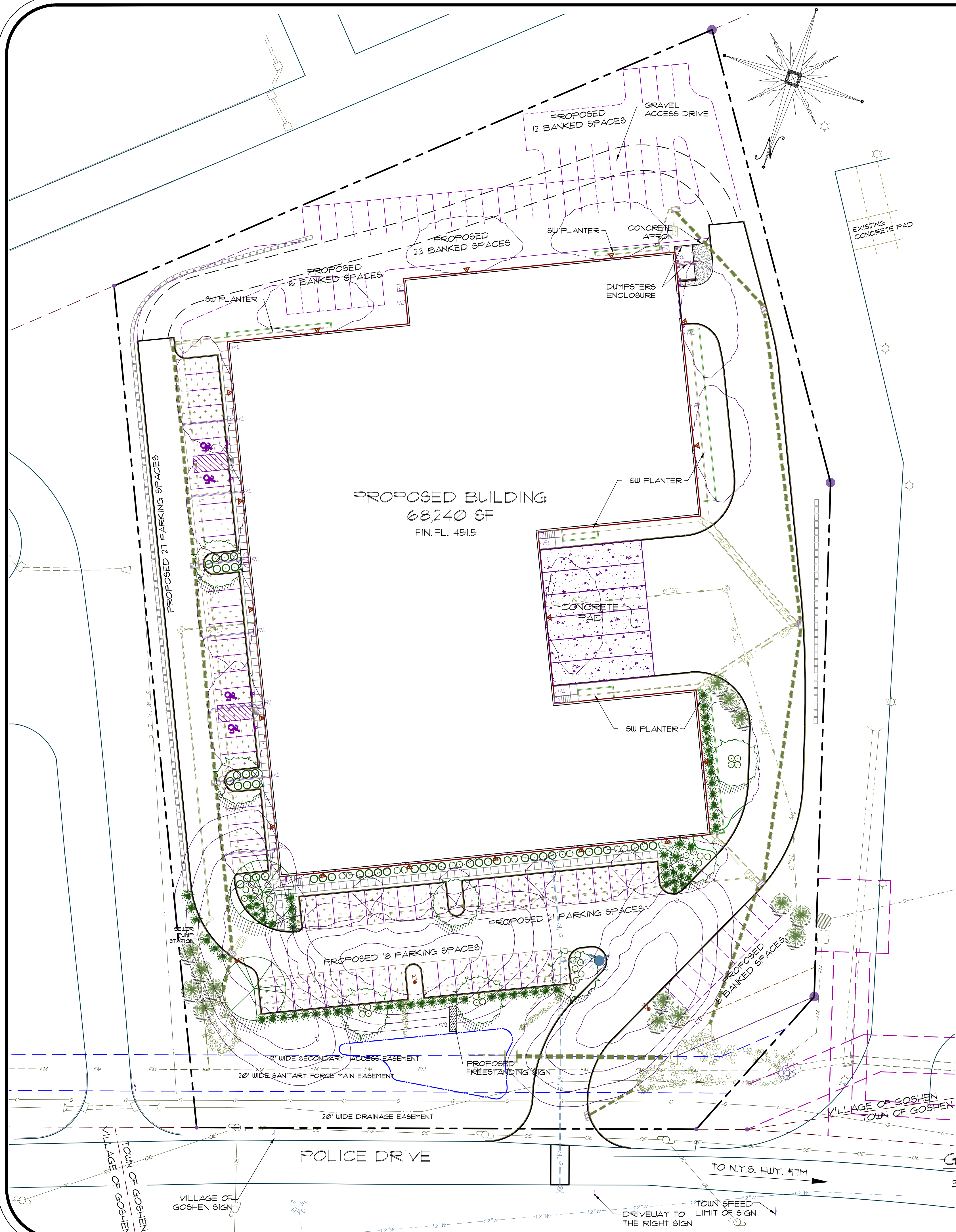
ONE POLICE DRIVE
WAREHOUSE
VILLAGE OF GOSHEN
TAX MAP: SEC. 122, BLK. 1, LOT 102

EXISTING CONDITIONS
PLAN

DRAWING TITLE:
Unauthorized alteration or addition to a plan bearing
a Licensed Land Surveyor's or Professional
Engineer's seal is a violation of section 1209,
subdivision 2 of the NY State Educational Law.

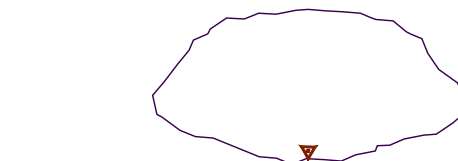
Scale:	Drawing No.:	Project No.:
1"=30'	3 of 13	2180201
CAD Reference:	O.C.H.D. Sheet No.:	D.E.C. Sheet No.:
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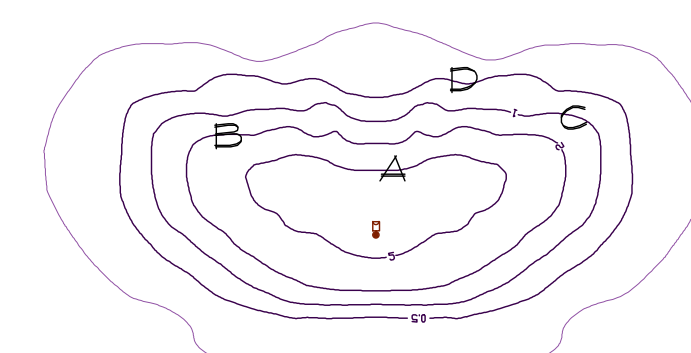
LIGHTING LEGEND

WALL MOUNT LIGHT
W4P LED 30C 100 40K T3M



W4P LED, 30LED'S 100mA DRIVER, 4000K CCT, TYPE 3 OPTIC, AND REFLECTOR

FREESTANDING LIGHTS
MGLED 1 4K AX M L XX



MONGOOSE LED WITH 1 COB's, 4000K COLOR TEMPERATURE, 1050mA DRIVE CURRENT, TYPE M LENS (MEDIUM), LOW TILT.

PHOTOMETRICS

A = 5.00 FOOT CANDLE
B = 2.00 FOOT CANDLE
C = 1.00 FOOT CANDLE
D = 0.50 FOOT CANDLE

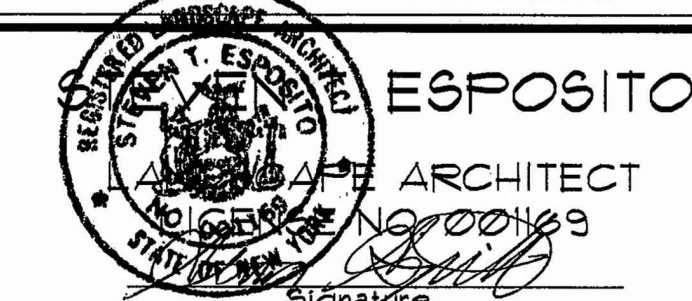
GENERAL LIGHTING NOTES

1. LIGHTS ARE CONTROLLED BY PHOTOCELLS AND SHALL OPERATE FROM DUSK TO DAWN.
2. THE DISTANCE IS IN UNITS OF THE MOUNTING HEIGHT OF THE LIGHT. (ACTUAL DISTANCE IS IN PARENTHESES.)
3. SEE DETAIL FOR FREESTANDING LIGHTS.
4. POLES SHALL INSTALLED 1'-6" (MIN.) FROM THE EDGE OF A SIDEWALK AND 2'-6" (MAX.) FROM A CURB.
5. WALL MOUNTED LIGHTS SHALL BE MOUNTED AT 20' GROUND HEIGHT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
6. LIGHTING FIXTURES SHALL BE DARK-SKY COMPLIANT, FULL CUT-OFF TYPE UNITS WITH (ADJUSTABLE) INTERNAL REFLECTORS TO INCREASE THE LIGHT SIDE-THROW.
7. FIXTURES ARE IDA, DLC AND CE CERTIFIED.
8. LIGHTING SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS:
HOLOPHANE
GRANVILLE BUSINESS PARK
BUILDING A
3825 COLUMBUS ROAD
GRANVILLE, OH 43023
WWW.HOLOPHANE.COM

07/30/21	SUBMIT FOR SIGNATURE
11/10/20	REVISION PER COMMENTS
10/02/20	SUBMIT FOR SIGNATURE
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ONE POLICE DRIVE
WAREHOUSE
VILLAGE OF GOSHEN

TAX MAP: SEC. 122, BLK. 1, LOT 102

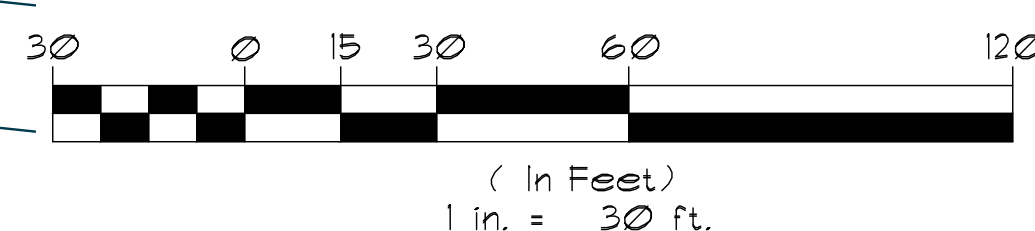
LIGHTING PLAN AND DETAILS

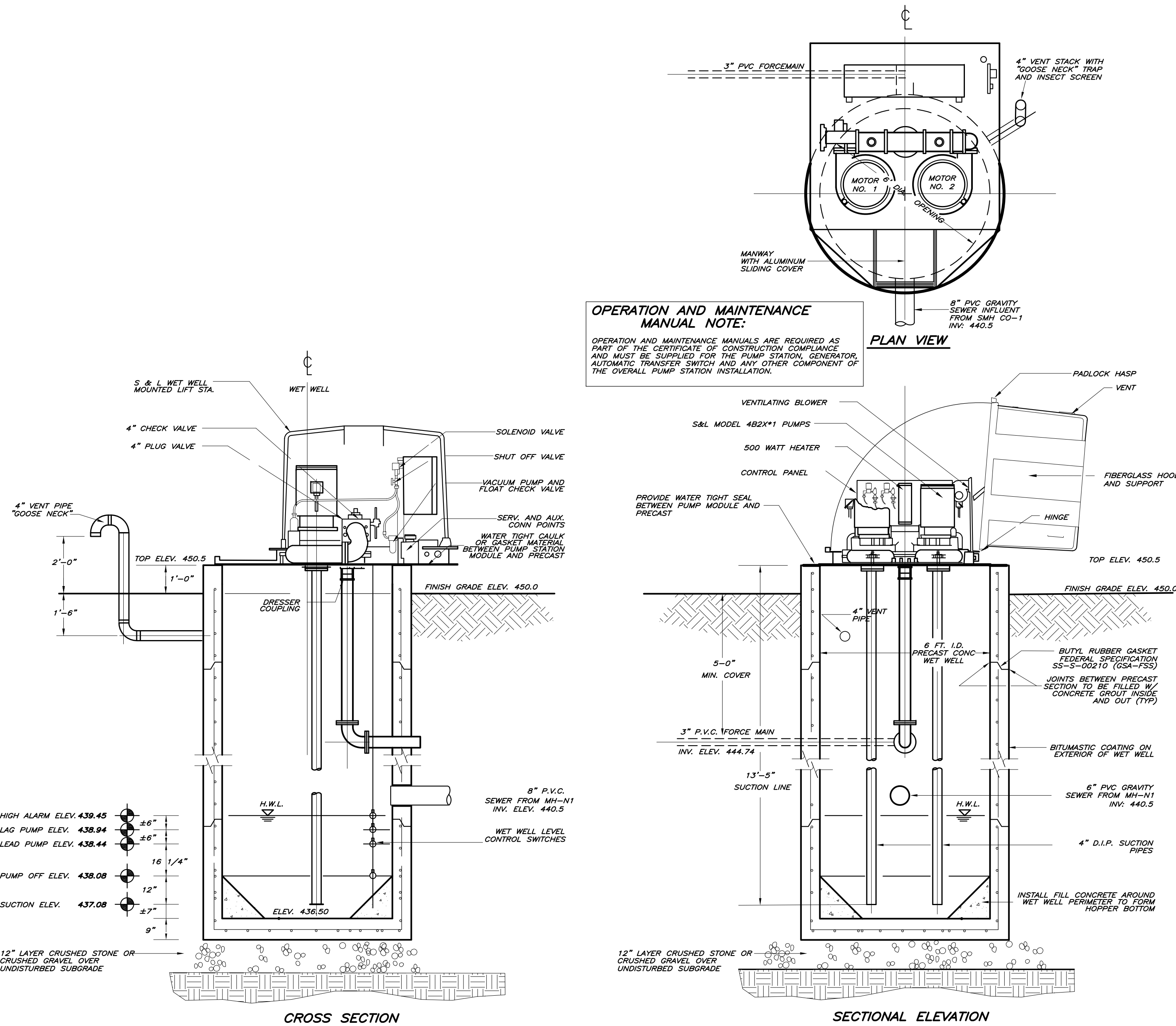
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Scale: 1"=30'	Drawing No.: 5 of 13	Project No.: 2180201
CAD Reference: .dwg	O.C.H.D. Sheet No.: of	D.E.C. Sheet No.: of

GRAPHIC SCALE



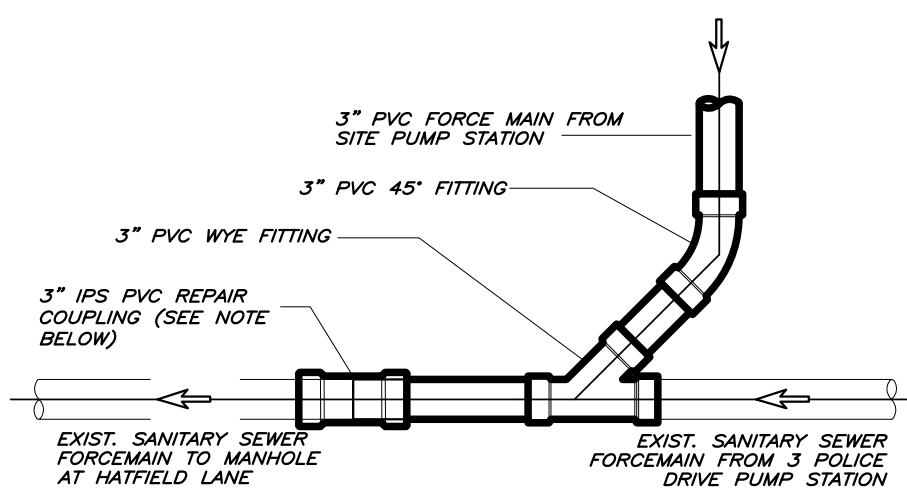


GENERAL NOTES:

1. THE PUMP STATION MODULE SHALL BE EQUAL TO SMITH AND LOVELESS WET WELL MOUNTED SEWAGER PUMPING STATION, MEETING THE DIMENSIONS SHOWN HEREON.
2. SEE SEPARATE ELECTRICAL DRAWINGS FOR POWER CONNECTIONS TO THIS PUMP STATION SITE. ELECTRICAL WORK SHALL COMPLY THE REQUIREMENTS OF THE NEC.

A SANITARY SEWER PUMP STATION

SCALE: 3/8" = 1'-0"

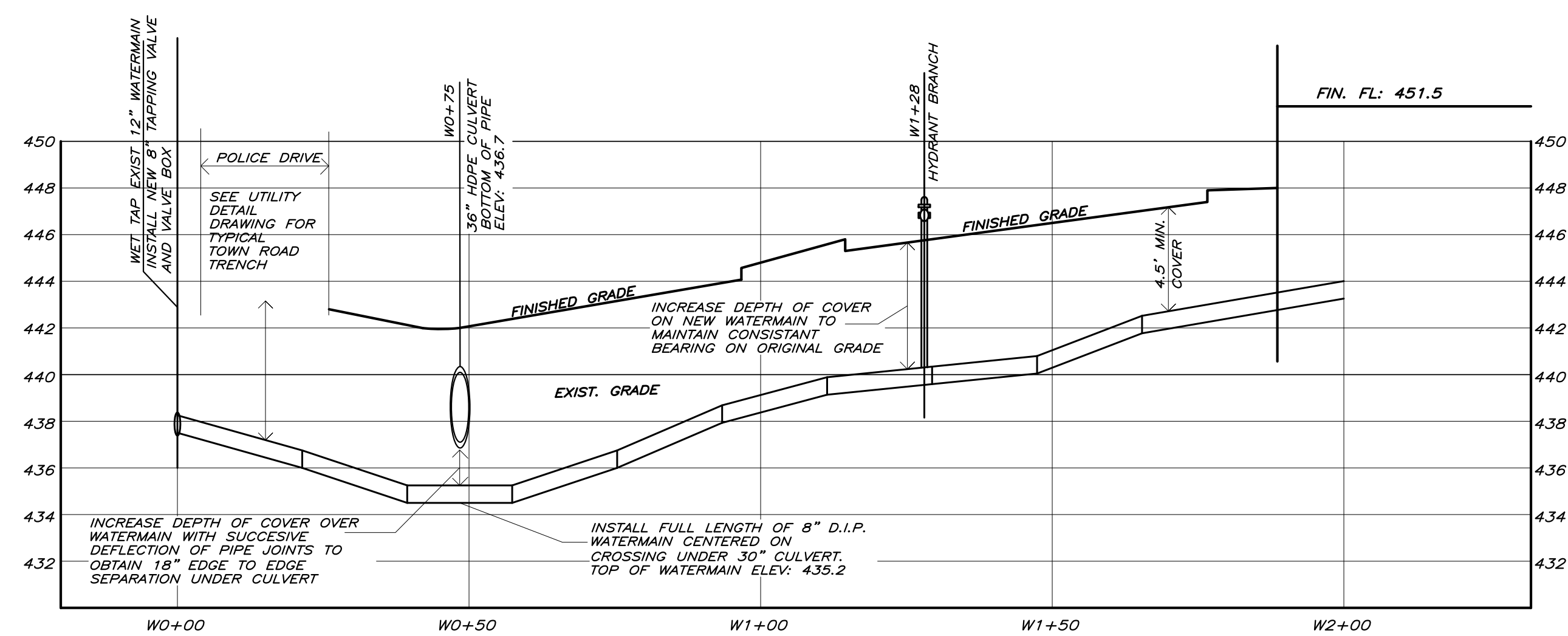


NOTES

1. EXISTING SANITARY SEWER FORCEMAIN IS ACTIVE. INSTALLATION OF NEW FORCEMAIN CONNECTION REQUIRES TEMPORARY SUSPENSION OF EXISTING OPERATION.
2. COMPONENTS OF EXISTING AND PROPOSED FORCEMAIN ARE SCH 80 PVC. INSTALLATION CONTRACTOR SHALL EXPOSE EXISTING FORCEMAIN AT THE TIE-IN LOCATION AND VERIFY EXISTING PIPE SIZE AND MATERIALS.
3. 3 INCH PVC REPAIR COUPLING SHALL BE EQUAL TO "HARCO KNOCK-ON" REPAIR COUPLING (PART NO. 109-030) WITH A PRESSURE RATING OF 200 PSI.

B SEWER FORCE MAIN TIE-IN DETAIL

SCALE: 1" = 1'-0"



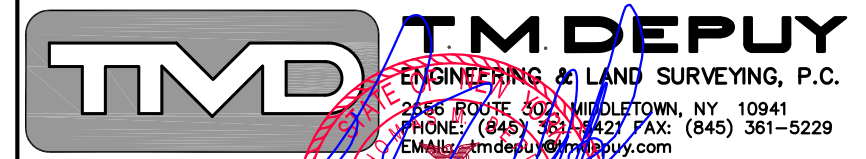
WATERMAIN PROFILE

HORIZ. SCALE: 1"=20
VERT. SCALE: 1"=5

11/30/21	FORCEMAIN TIE-IN, SUBMIT FOR SIGNATURE
11/10/20	SUBMIT FOR SIGNATURE
10/02/20	S&L PUMP MODEL NO. UPSIZE FORCEMAIN TO 3"
7/10/2018	CHANGE SET OF DRAWINGS TO 13
4/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580



1 POLICE DRIVE WAREHOUSE

VILLAGE OF GOSHEN

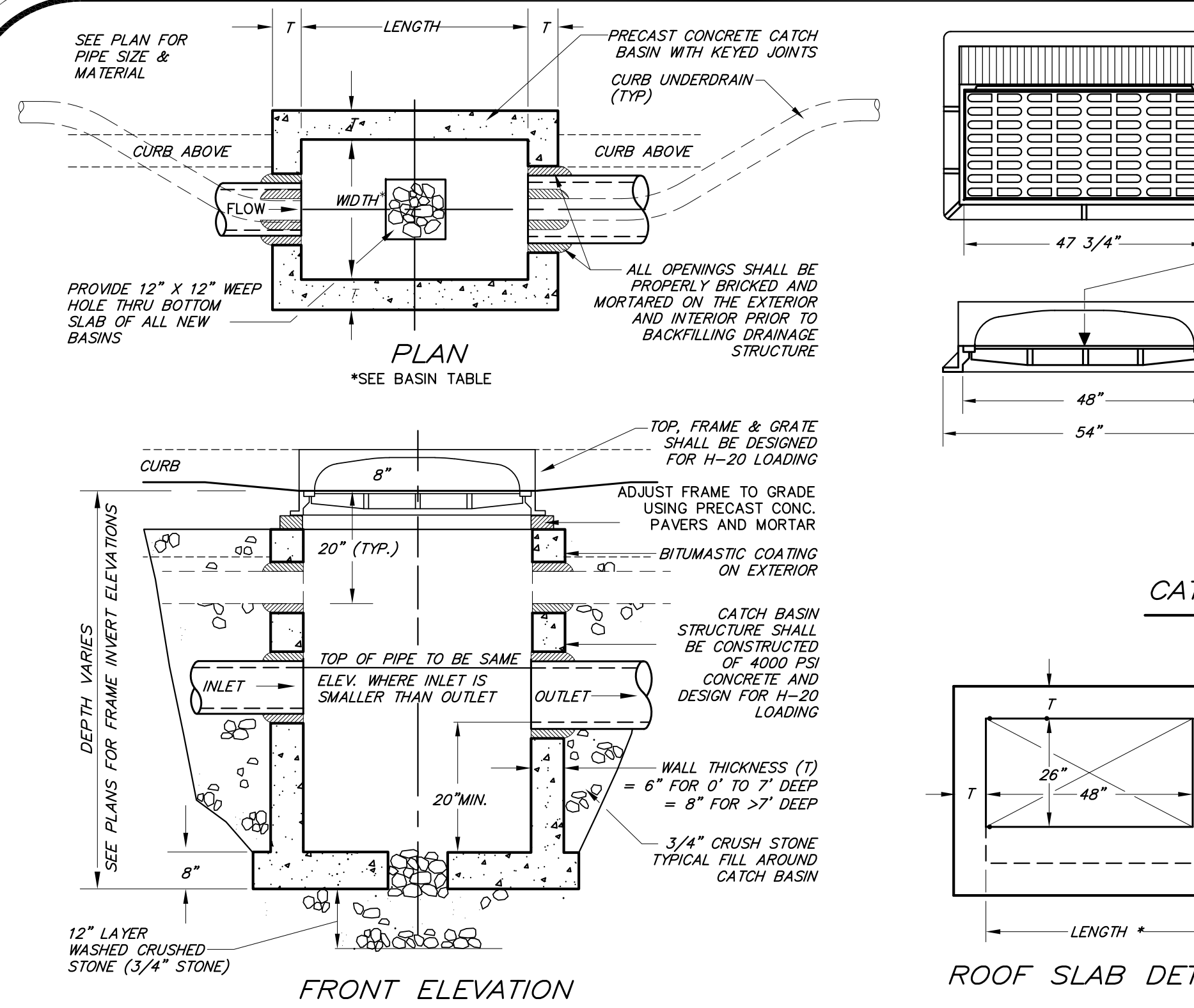
TAX MAP: SEC. 122, BLK. 1, LOT 10.2

SANITARY SEWER PUMP STATION AND UTILITY PROFILES

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Scale:	Drawing No.:	Project No.:
AS NOTED	6 of 13	21908.01 05008
CAD Reference:	D.C.H.D. Sheet No.:	SWPPP Sheet No.:
03007R-PUMPSTA	of	of



TYPE	PRECAST TYPE	FRAME TYPE
CB-A	P1	FR1
CB-B	P2	FR1
CB-C	P3	FR1

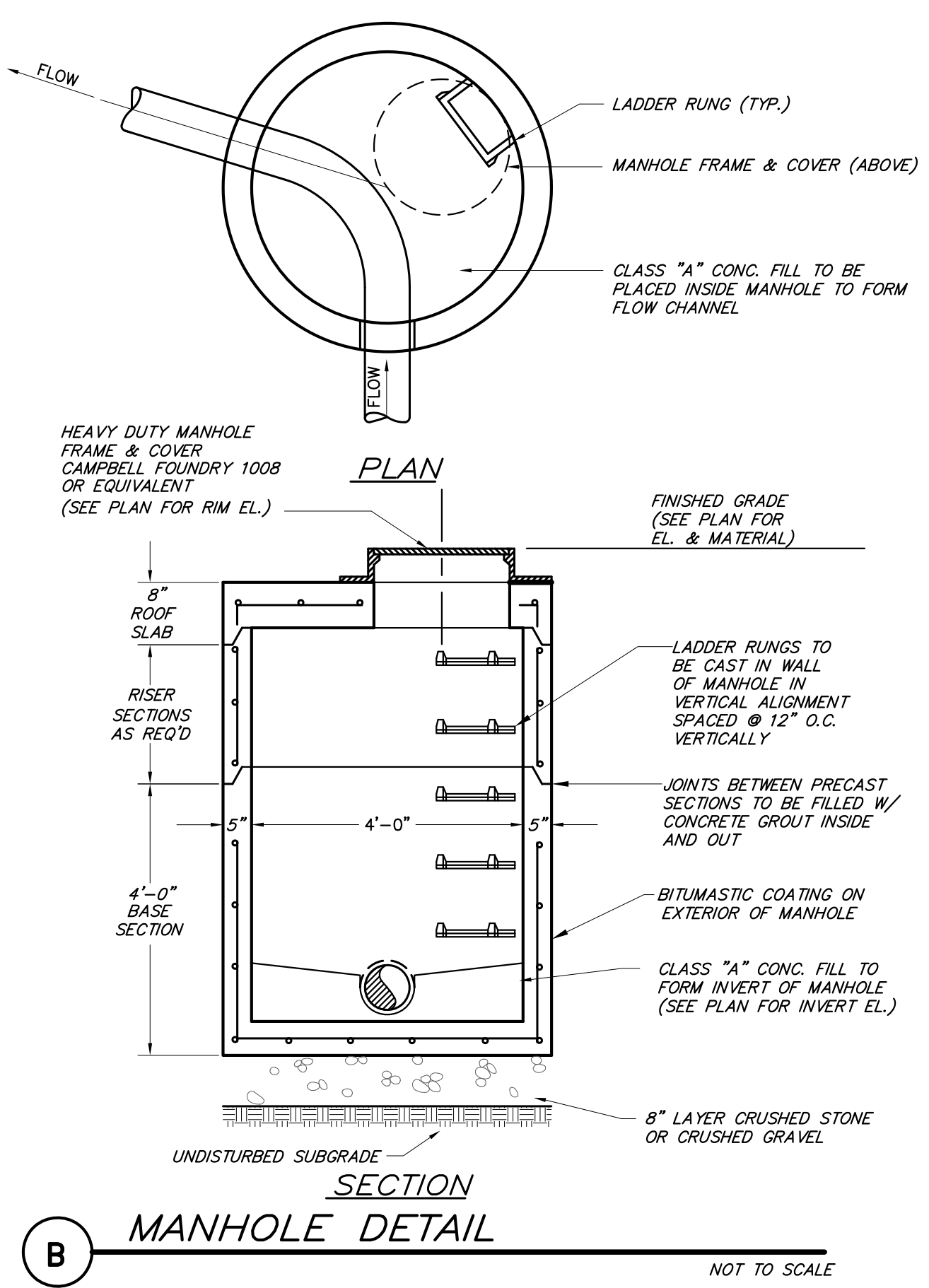
PRECAST TYPE	LARGEST PIPE	LENGTH	WIDTH	ROOF
P1	24"	48"	30"	NO
P2	36"	48"	42"	YES
P3	60"	72"	72"	YES

PRECAST CONCRETE CATCH BASINS SHALL BE DESIGNED AND CONSTRUCTED TO MEET ACI-318 AND HS20 STRUCTURAL LOADS.

PRECAST CONCRETE SHALL HAVE A MINIMUM, 28 DAY COMPRESSIVE STRENGTH (F'_c) = 4000 PSI WITH AIR ENTRAINMENT BETWEEN 4% AND 6%.

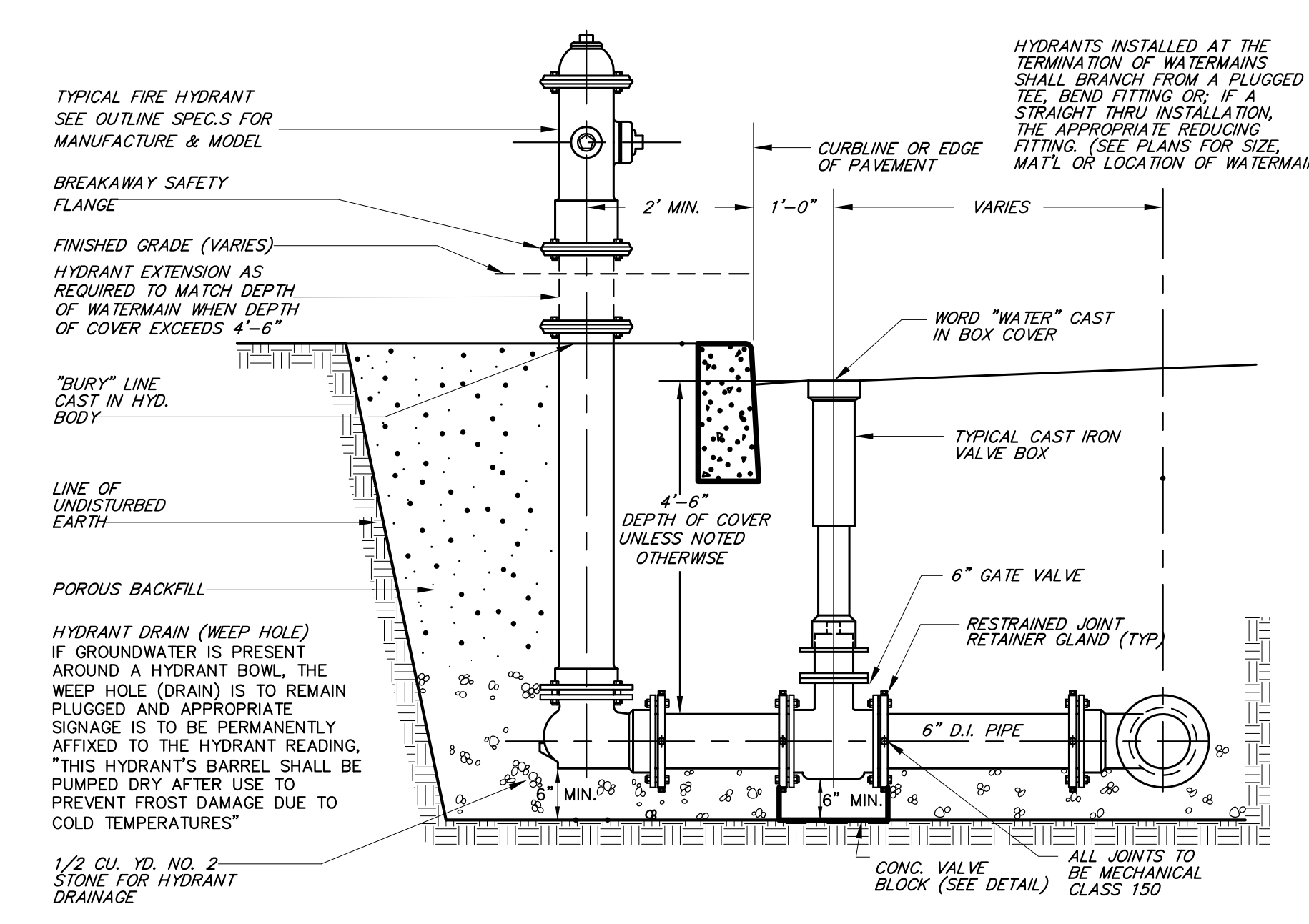
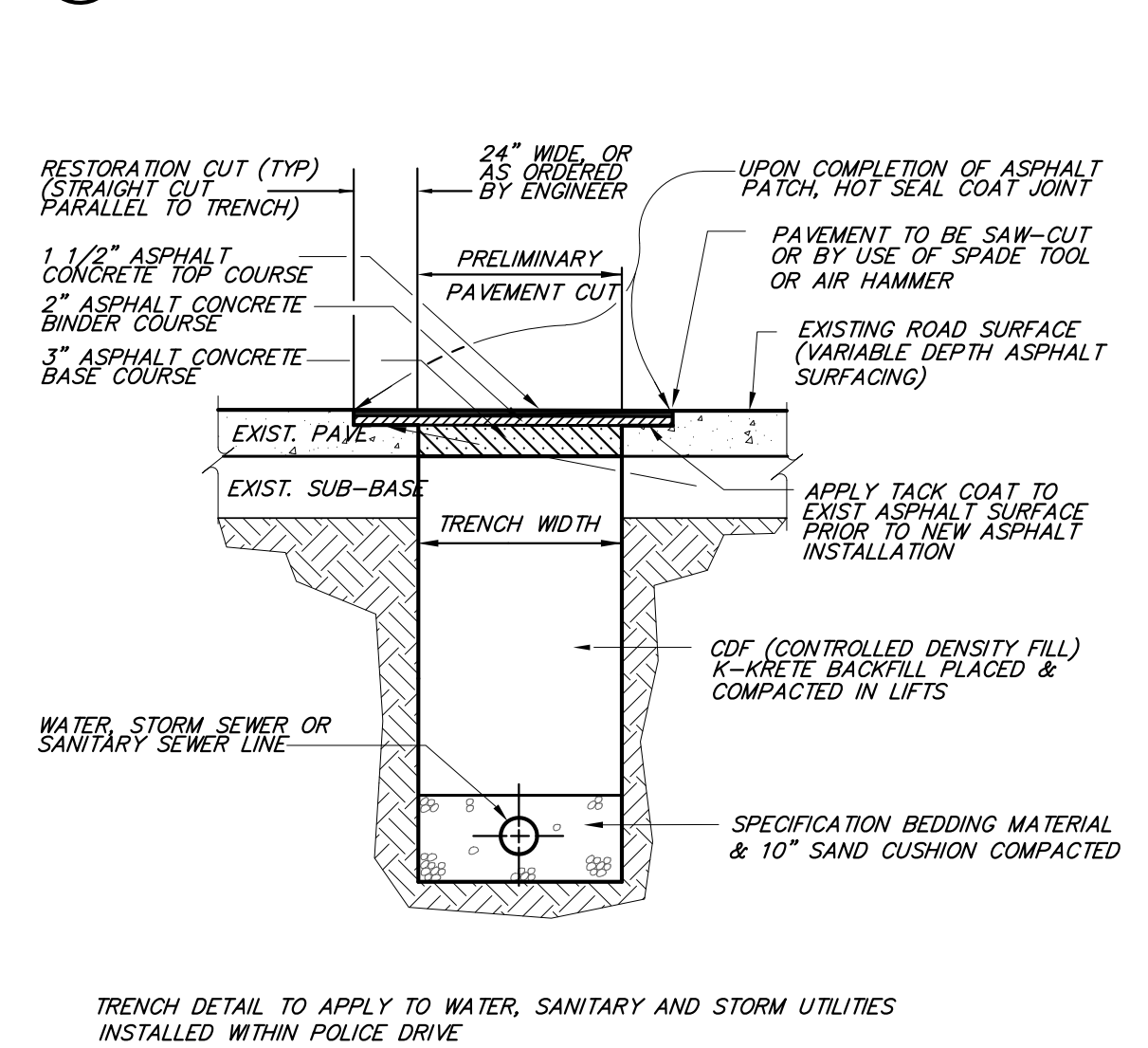
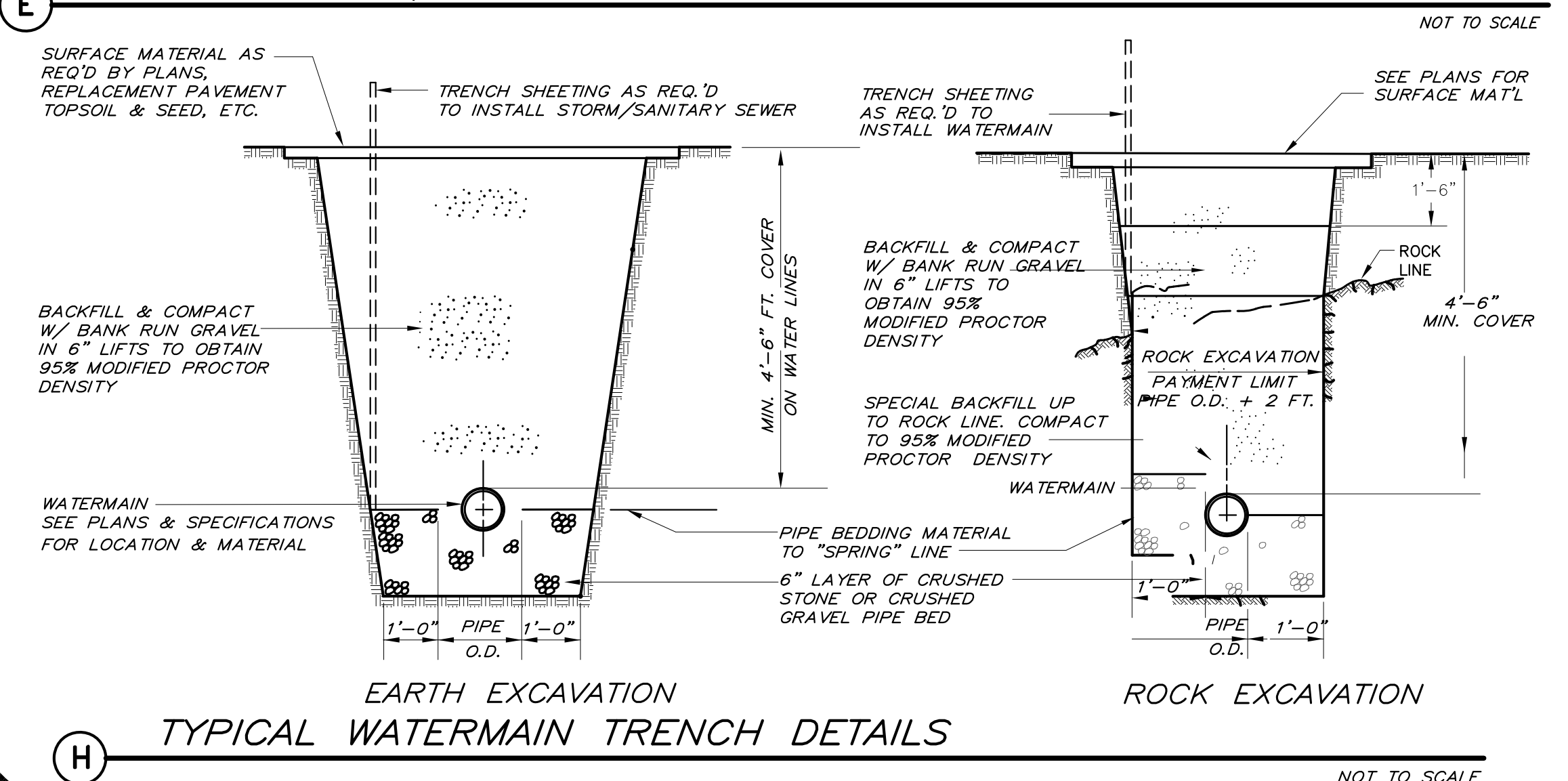
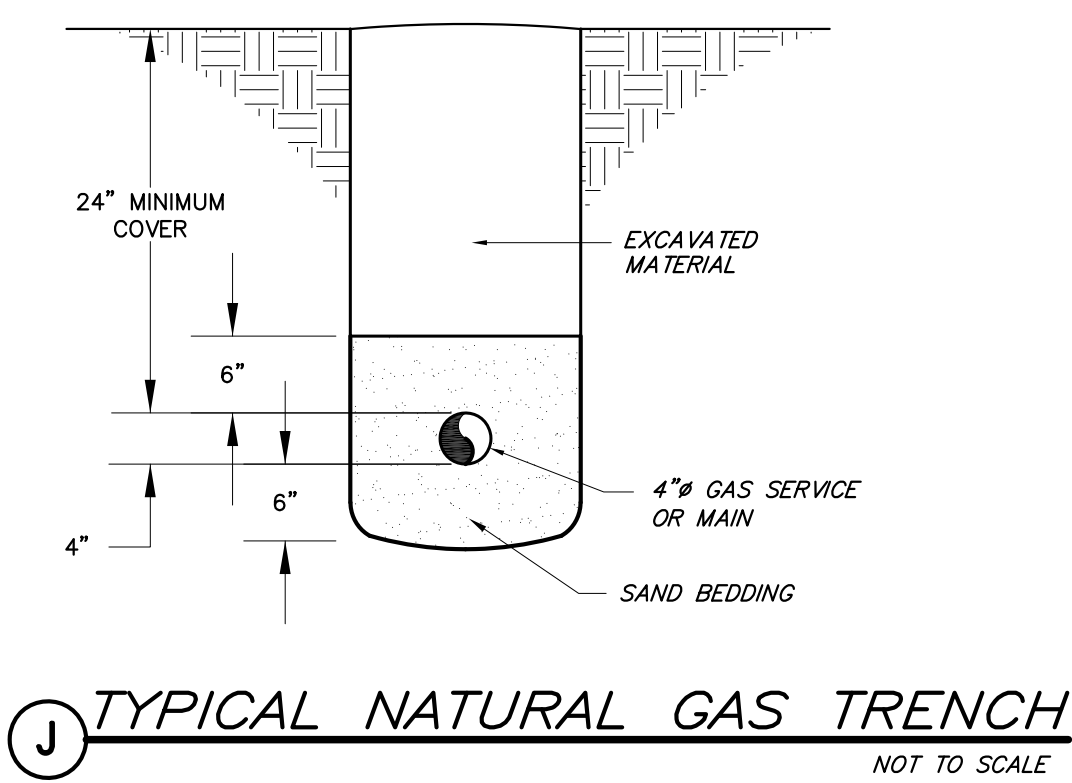
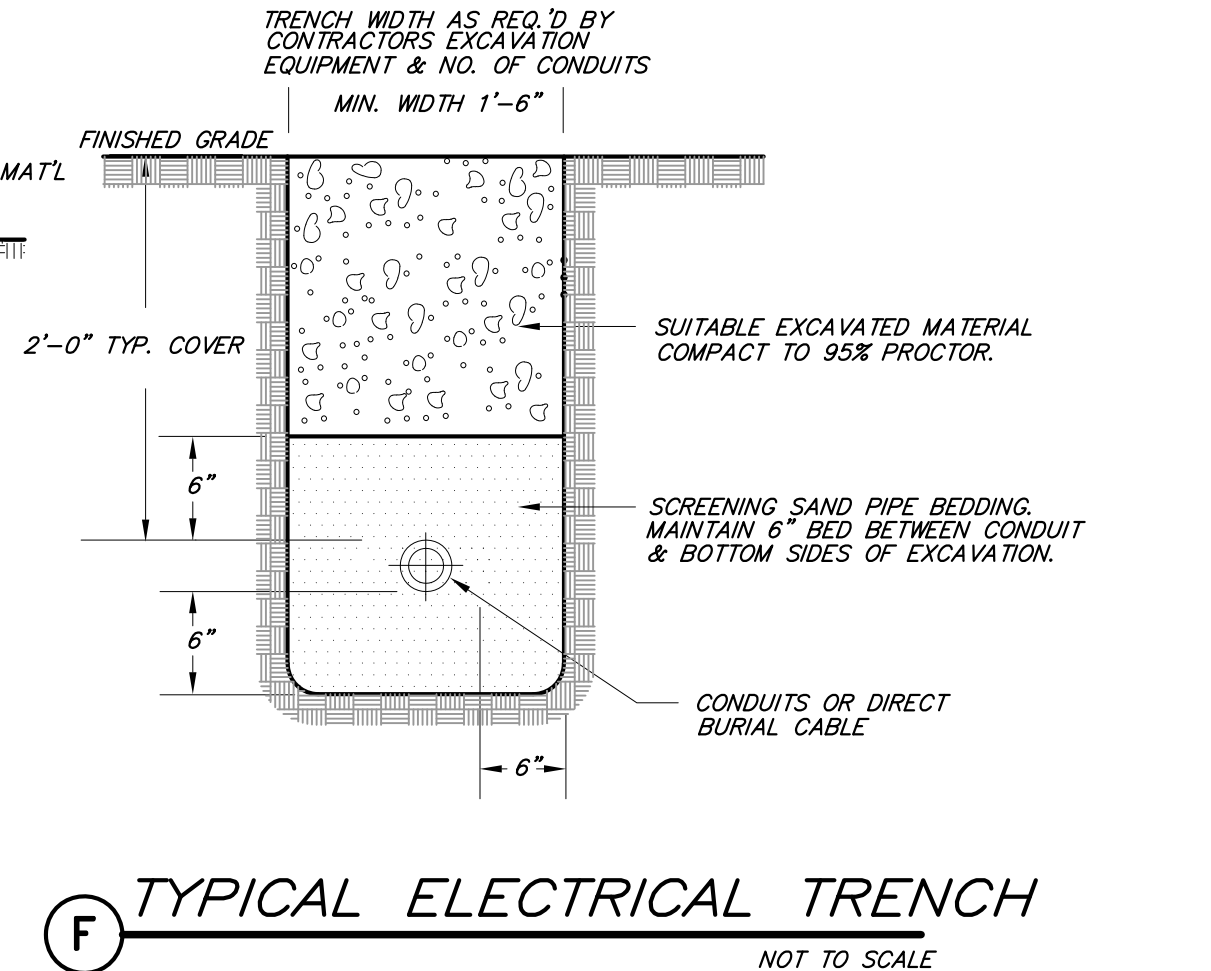
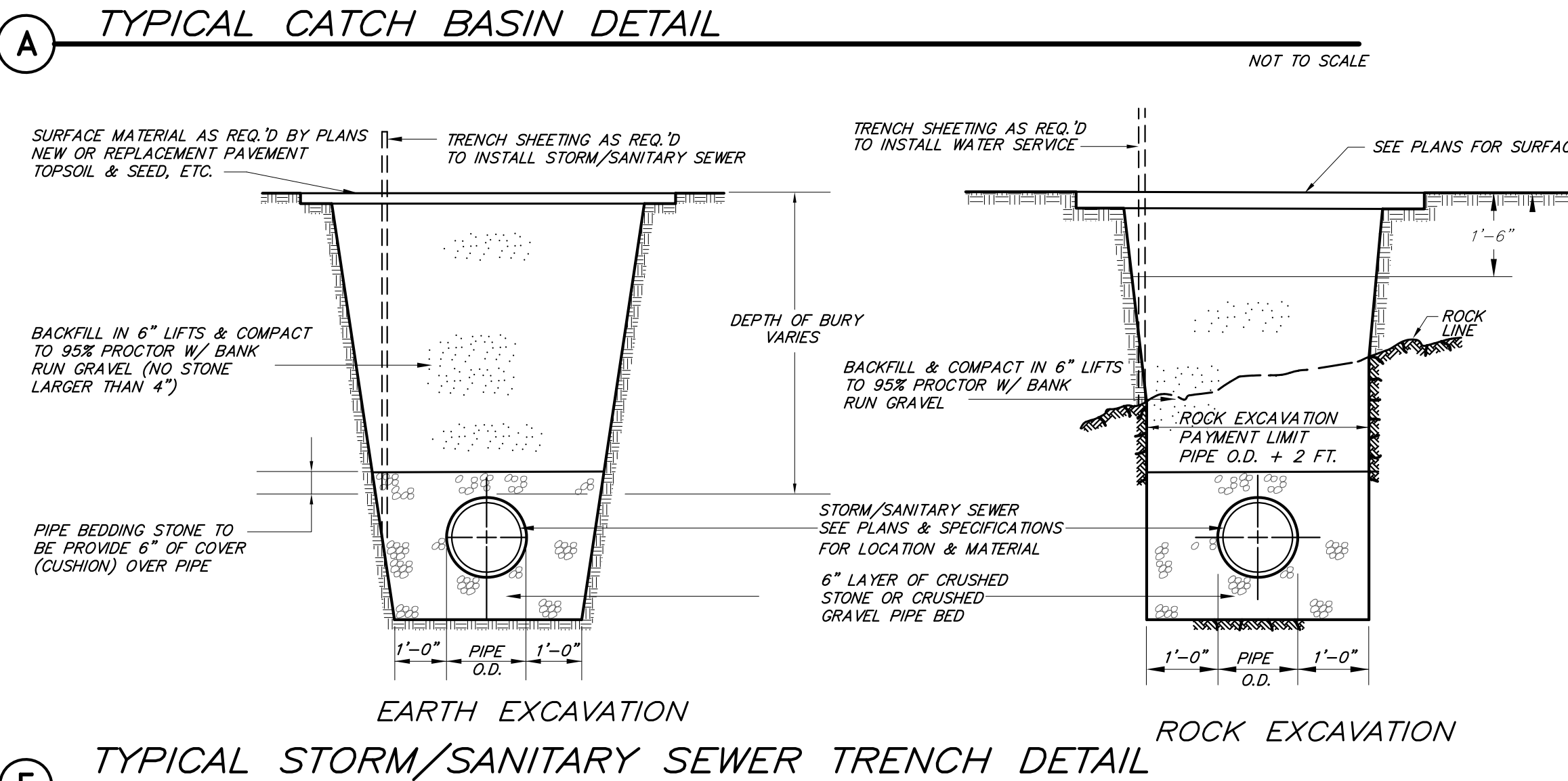
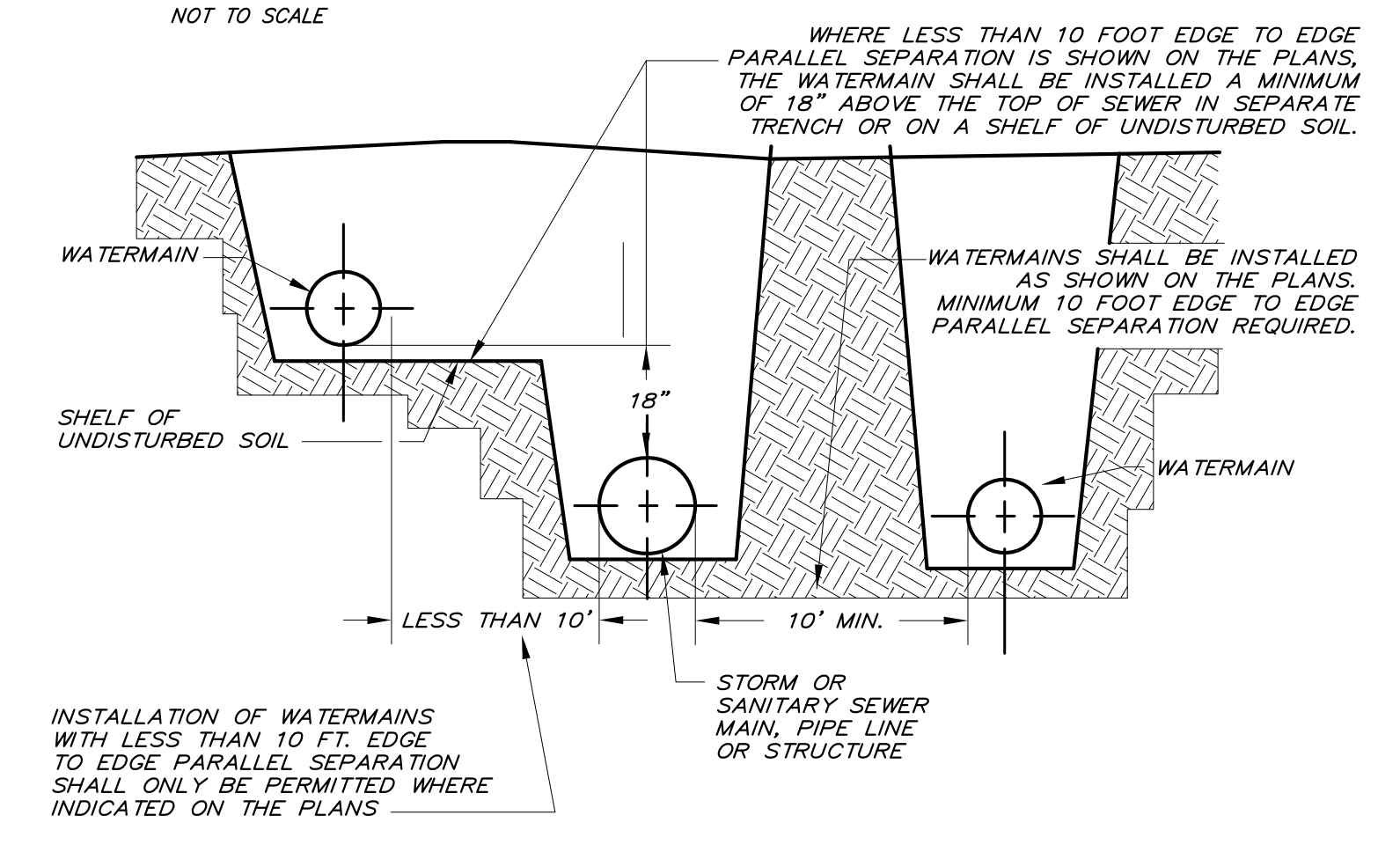
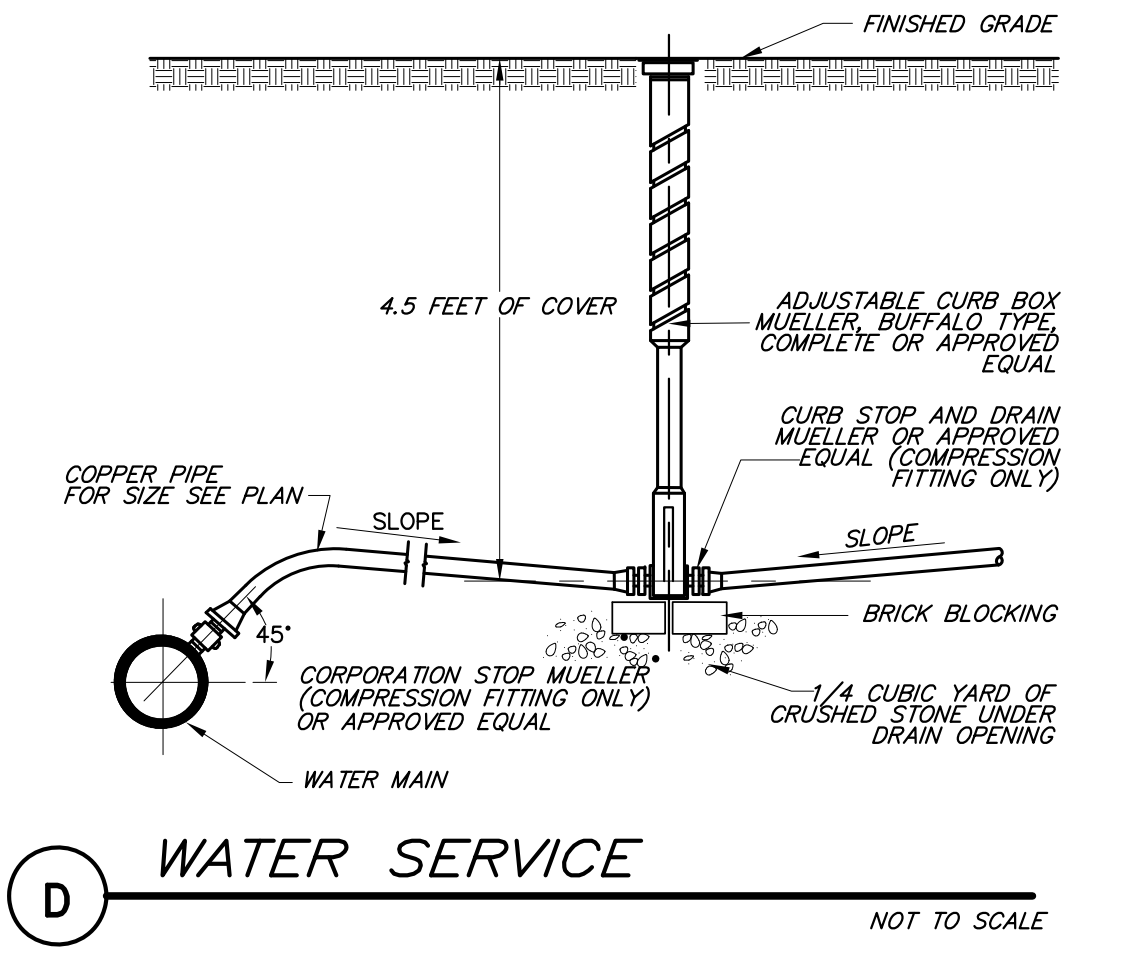
REINFORCING STEEL SHALL BE, #4 OR #5 BARS MEETING ASTM A615 GRADE 60.

REFER TO DRAWING 12 OF 13 FOR SEPARATE DETAIL OF SITE POND OUTLET STRUCTURE



NOTES:

- SANITARY SEWER PIPING AND FITTINGS SHALL BE OF THE MATERIAL INDICATED ON THE PLANS.
- CLEANOUT LOCATIONS SHALL BE AS SHOWN ON PLANS (MIN. 75' O.C.)



7/30/21	SUBMIT FOR SIGNATURE
7/10/2018	CHANGE SET OF DRAWINGS TO 13
5/06/2018	PLANNING BOARD REVIEW
4/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580

T.M. DEPUY
ENGINEERING & LAND SURVEYING, P.C.
3000 ROUTE 212, MIDDLETOWN, NY 10941
(845) 351-2500 FAX: (845) 351-5229
EMAIL: tdepuy@tdepuy.com

1 POLICE DRIVE WAREHOUSE
VILLAGE OF GOSHEN

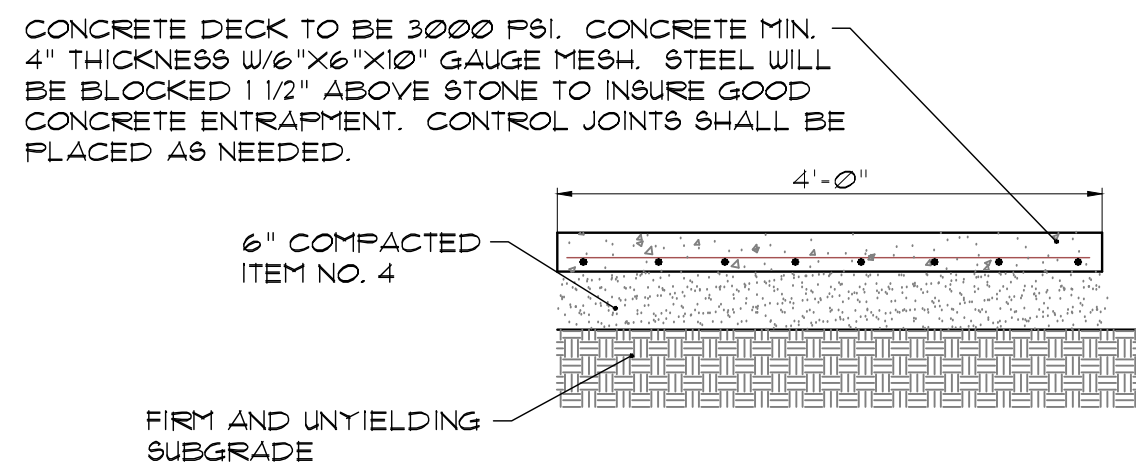
TAX MAP: SEC. 122, BLK. 1, LOT 10.2

UTILITY DETAILS

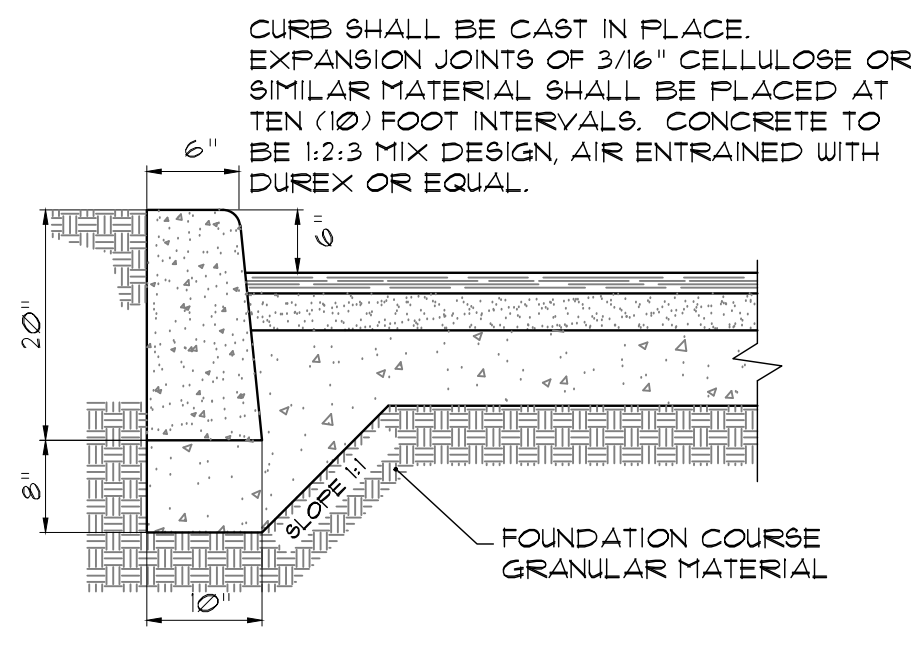
DRAWING TITLE:

Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 7209, subdivision 2 of the NY State Educational Law.

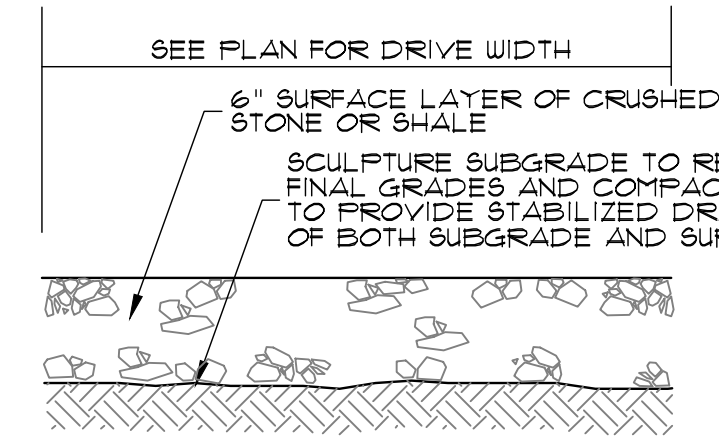
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AS NOTED	7 of 13	21508.01
		05008
CAD Reference:	D.C.H.D. Sheet No.:	SWPPP Sheet No.:
03007R-DETAILS	of	of



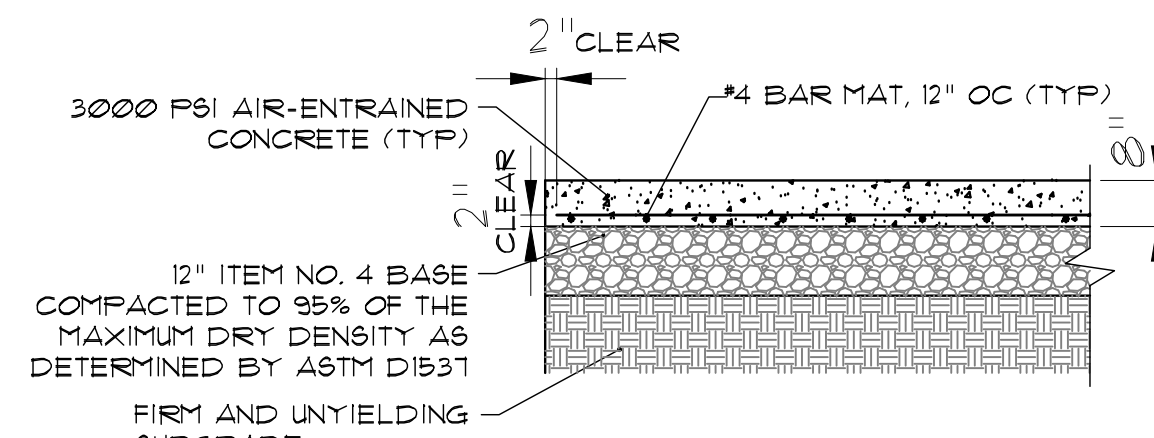
1 CONCRETE WALK DETAIL
SH-B N.T.S.



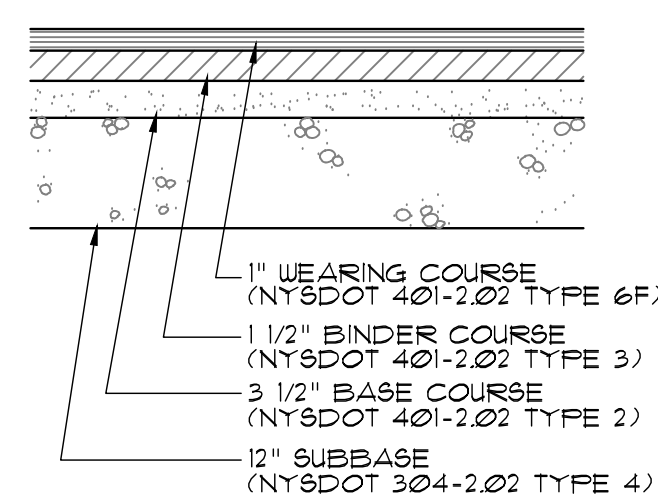
2 CONCRETE CURB DETAIL
SH-B N.T.S.



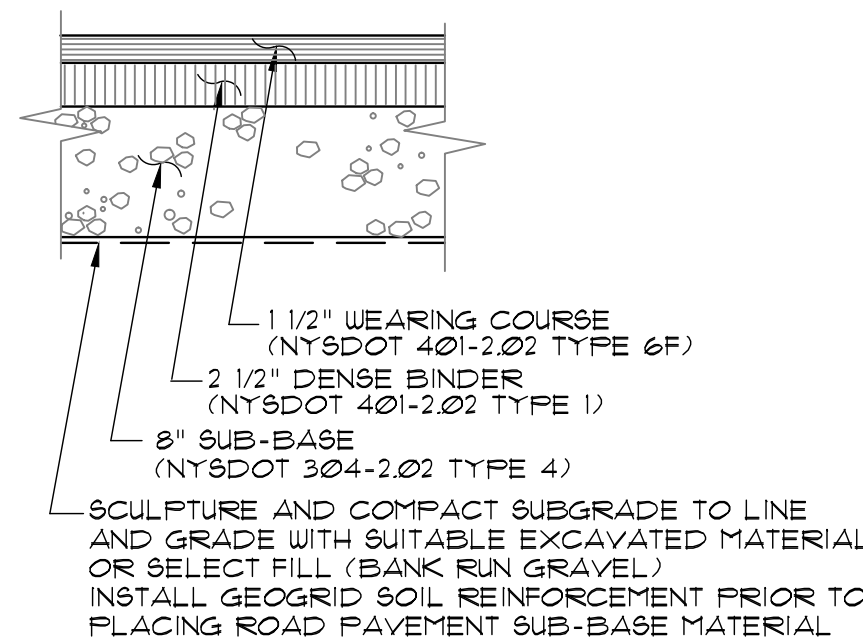
3 GRAVEL DRIVE DETAIL
SH-B N.T.S.



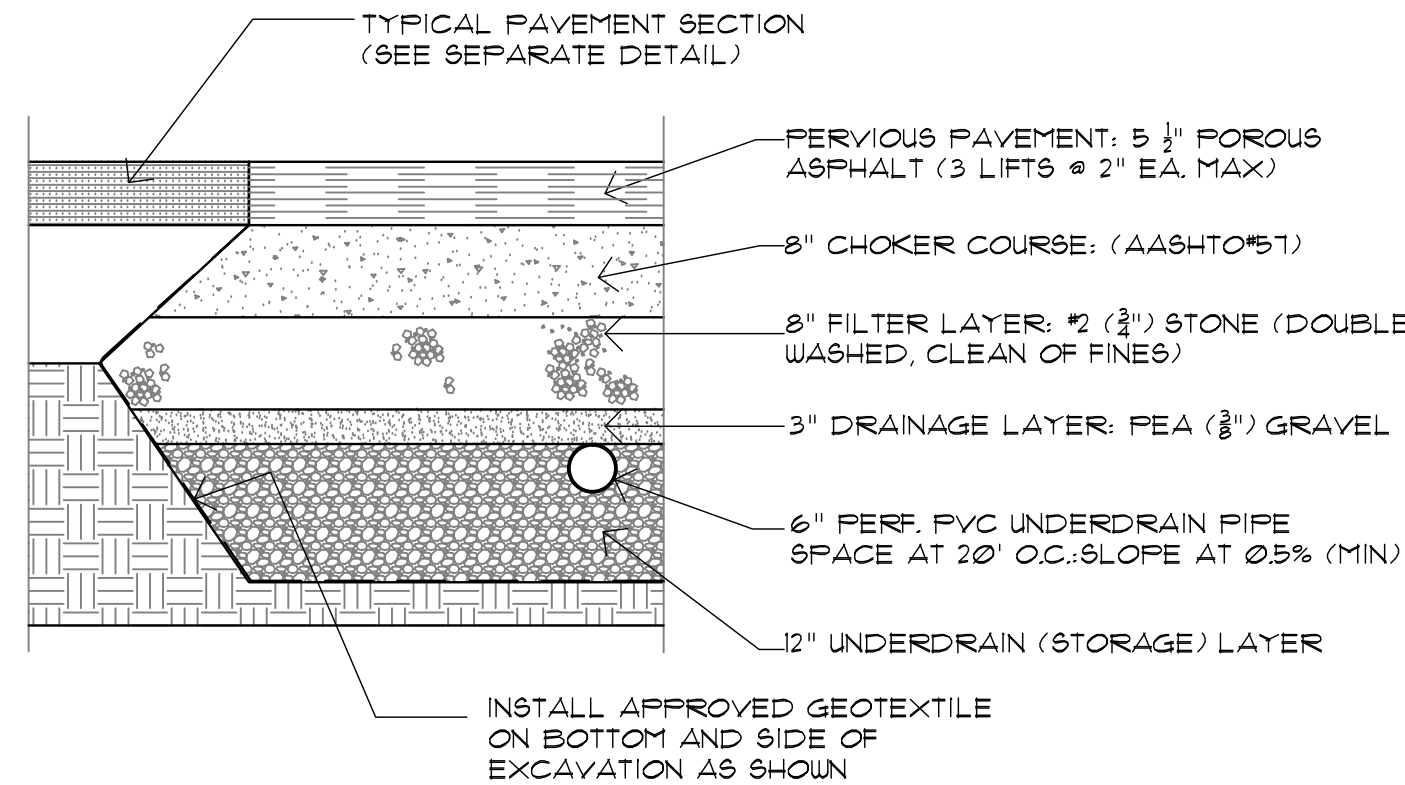
4 CONCRETE APRON DETAIL
SH-B N.T.S.



5 TYPE "A" PAVING DETAIL
SH-B N.T.S.

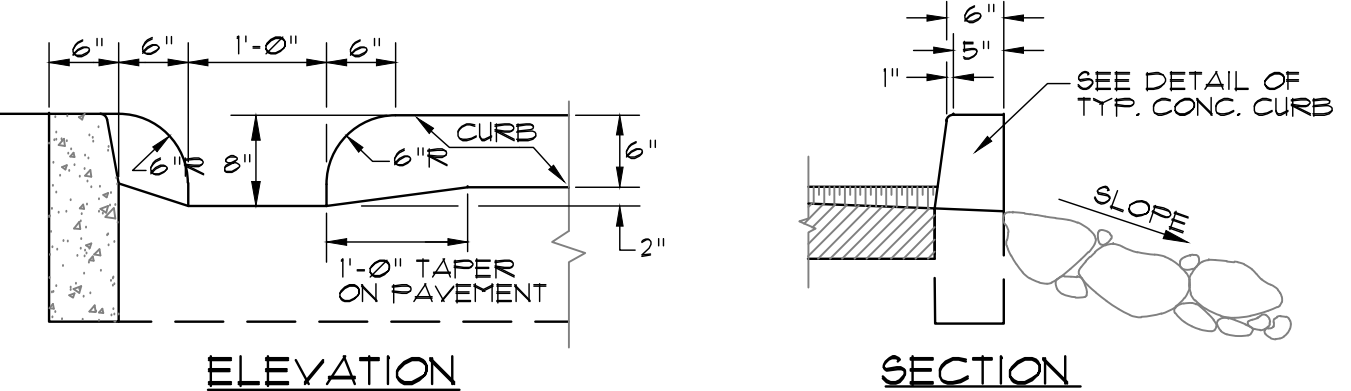
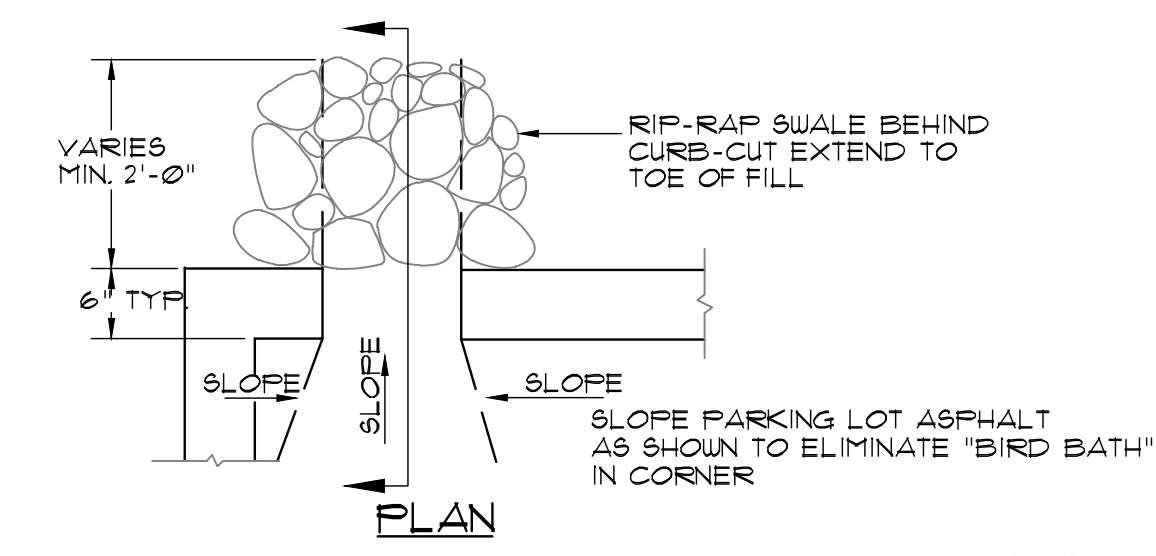


6 TYPE "B" PAVING DETAIL
SH-B N.T.S.

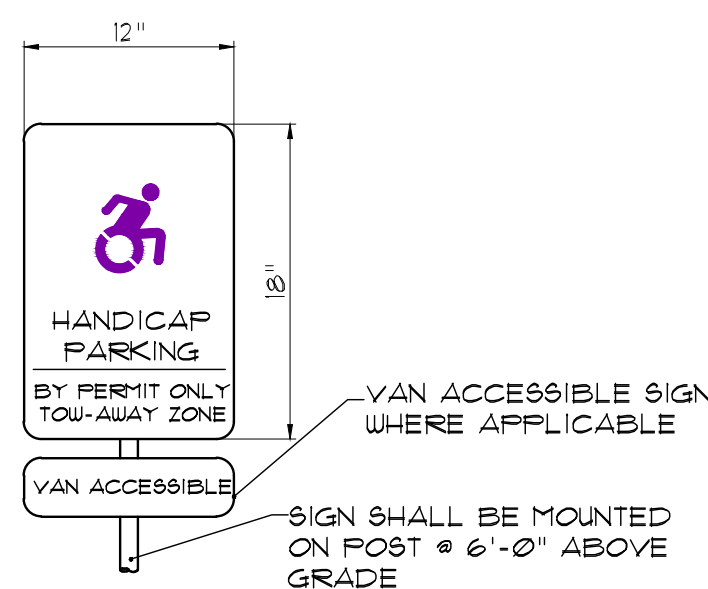


1. POROUS PAVEMENT SECTION SHALL BE INSTALLED TOWARDS THE END OF THE CONSTRUCTION PERIOD.
2. SUBSURFACE AREA SHALL BE EXCAVATED TO THE PROPOSED DEPTH, AND SUBGRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT LOADS PRIOR TO PLACEMENT OF GEOTEXTILE.
3. BOTTOM OF SECTION TO BE AT LEVEL GRADE.
4. PLACE GEOTEXTILE AND UNDERDRAIN AGGREGATE IMMEDIATELY AFTER APPROVAL OF THE SUBGRADE PREPARATION TO PREVENT ACCUMULATION OF DEBRIS OR SEDIMENT.
5. PREVENT SURFACE RUNOFF FROM ENTERING THE STORAGE (UNDERDRAIN) BED DURING PLACEMENT OF GEOTEXTILE AND AGGREGATE.

7 TYPICAL POROUS PAVEMENT DETAIL
SH-B N.T.S.



8 DRAINAGE CURB CUT DETAIL
SH-B N.T.S.



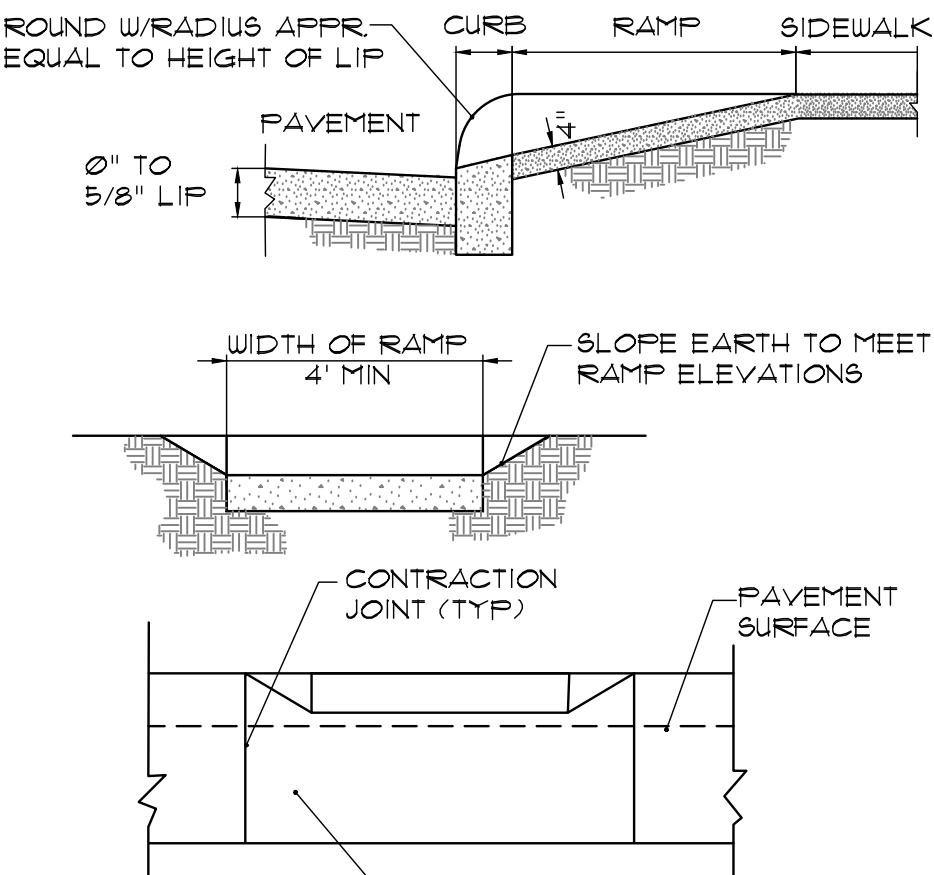
HANDICAP SIGN



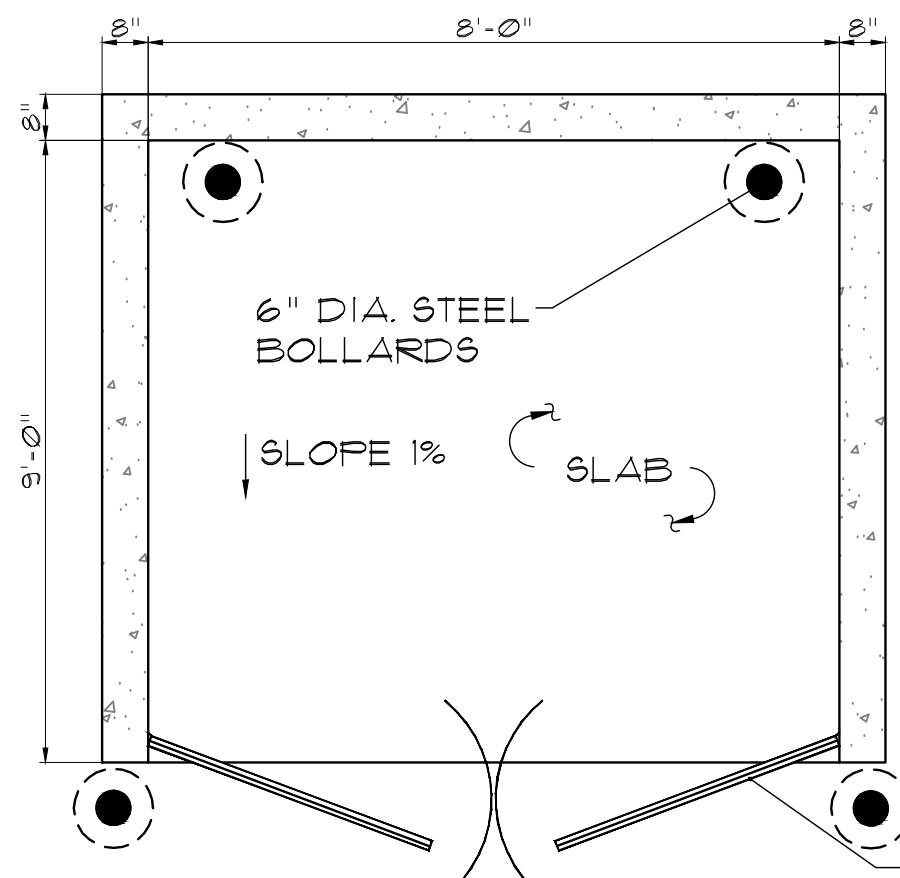
STOP SIGN
NYSDOT
181-1C (30x30)



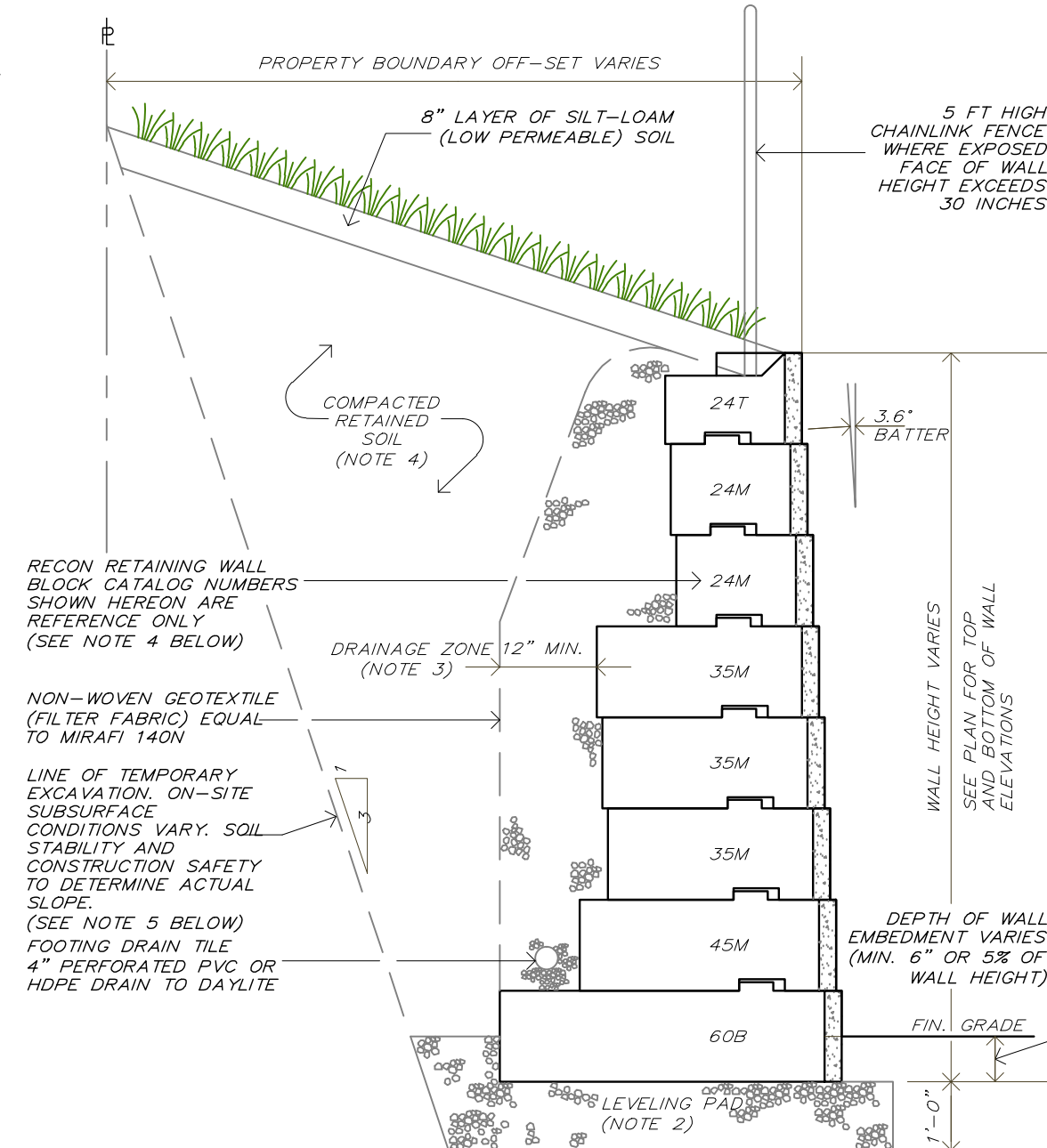
NO PARKING SIGN



10 HANDICAPPED ACCESS RAMP
SH-B N.T.S.



11 DUMPSTER DETAIL
SH-B N.T.S.



NOTES

1. UNIT BLOCK RETAINING WALL SHALL BE EQUAL TO RECON RETAINING WALL SYSTEMS, SYSTEM INSTALLATION SHALL BE IN ACCORDANCE WITH WALL SYSTEM MANUFACTURERS RECOMMENDATIONS.
2. RETAINING WALL FOUNDATION LEVELING PAD SHALL BE NON-REINFORCED CONCRETE (F'c=3000PSI) OR COMPACTED CRUSHED 3/4" STONE. FOUNDATION SUBGRADE SOILS SHALL BE CAPABLE OF SUPPORTING WALL SYSTEM (MIN. 1.5 TONS PER SQUARE FOOT BEARING CAPACITY).
3. DRAINAGE ZONE MATERIAL SHALL BE CLEAN 3/4" CRUSHED STONE OR CRUSHED GRAVEL.
4. NON-STRUCTURAL FILL (RETAINED SOIL) SHALL BE NATIVE SOIL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
5. CONTRACTOR SHALL PROVIDE DETAILED DESIGN DRAWINGS OF ENTIRE RETAINING WALL FOR PRIOR APPROVAL OF THE MUNICIPAL ENGINEER PRIOR TO ARRIVAL OF WALL COMPONENTS AT THE SITE.
6. SUBGRADE SOILS ON THIS SITE ARE PRESUMED TO BE SHALE ROCK FOR THE EXTENT OF THE PROPOSED RETAINING WALL LOCATION. FIELD VERIFICATION IS NECESSARY TO DETERMINE ACTUAL BEARING CAPACITY AND SAFE EXCAVATION SLOPE LIMITS.

12 TYPICAL GRAVITY RETAINING WALL DETAIL
SH-B N.T.S.

RETAINING WALL NOTE:

DETAILED DESIGN OF UNIT BLOCK RETAINING WALL BY WALL SYSTEM MANUFACTURER SHALL BE SUBMITTED BY THE SITE CONTRACTOR TO THE VILLAGE OF GOSHEN BUILDING DEPARTMENT TO OBTAIN A BUILDING PERMIT. SUBMITTALS SHALL BE SIGNED AND SEALED BY A NY LICENSED PROFESSIONAL ENGINEER.

01/30/21	SUBMIT FOR SIGNATURE
11/10/20	REVISION PER COMMENTS
10/02/20	SUBMIT FOR SIGNATURE
07/10/18	REVISION PER PLANNING BOARD COMMENTS
05/08/18	REVISION PER PLANNING BOARD COMMENTS
04/10/18	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580

ESPOSITO

ARCHITECT

Signature: [Signature]

ONE POLICE DRIVE WAREHOUSE

VILLAGE OF GOSHEN

TAX MAP: SEC. 122, BLK. 1, LOT 102

SITE PLAN DETAILS

DRAWING TITLE:		
Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Educational Law.		
Scale:	Drawing No.:	Project No.:
1"=30'	8 of 13	2180201
CAD Reference:	O.C.H.D. Sheet No.:	D.E.C. Sheet No.:
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STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

I. FOR ALL CONSTRUCTION ACTIVITIES SUBJECT TO THIS GENERAL PERMIT (GP-0-20-001)

EFFECTIVE: JANUARY 29, 2020 EXPIRES: JANUARY 28, 2025

A. GENERAL

- CONTRACTORS SHALL TAKE NOTICE THAT THE WATERS OF THE UNITED STATES ARE PROTECTED UNDER THE FEDERAL LAW KNOWN AS THE CLEAN WATER ACT ("CWA"). STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES TO THE WATERS OF THE UNITED STATES ARE UNLAWFUL, UNLESS AUTHORIZED BY A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM ("NPDES") PERMIT. THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION ("DEC") ADMINISTERS THE STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") PERMIT PROGRAM, IN CONFORMANCE WITH THE FEDERAL STORM WATER (NPDES) REGULATIONS.
- OWNER OR OPERATOR** – MEANS THE PERSON, PERSONS OR LEGAL ENTITY WHICH OWNS OR LEASES THE PROPERTY ON WHICH THE CONSTRUCTION ACTIVITY IS OCCURRING, AND/OR AN ENTITY THAT HAS OPERATIONAL CONTROL OVER THE CONSTRUCTION PLANS AND SPECIFICATIONS, INCLUDING THE ABILITY TO MAKE MODIFICATIONS TO THE PLANS AND SPECIFICATIONS.
- CONTRACTORS SHALL TAKE NOTICE THAT THE OWNER OR OPERATOR HAS FILED OR IS ABOUT TO FILE A NOTICE OF INTENT ("NOI") WITH THE NYSDDEC, AND IS THE PERMITTEE REFERRED TO HEREINAFTER. THIS "NOI" APPLICATION INCLUDES THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") PREPARED FOR THIS SUBDIVISION, AND APPLIES TO THE PUBLIC IMPROVEMENTS INDICATED ON THE SUBDIVISION PLANS. THE CONTRACTOR SHALL SUBMIT A SEPARATE SOIL EROSION AND SEDIMENTATION CONTROL PLAN WITH EACH APPLICATION FOR A BUILDING PERMIT.
- THE CONTRACTOR AND HIS/HER SUBCONTRACTORS ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE SPDES GENERAL PERMIT ISSUED TO THE PERMITTEE FOR THE CONSTRUCTION OF THIS RESIDENTIAL SUBDIVISION WITHOUT LIMITING THE FOREGOING, THE SWPPP PROVIDES THE DETAILED INFORMATION FOR COMPLIANCE.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, THE PERMITTEE MUST IDENTIFY THE CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR INSTALLING, MAINTAINING, INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL PRACTICES INCLUDED IN THE SWPPP, AND THE CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL THE POST-CONSTRUCTION MANAGEMENT PRACTICES INCLUDED IN THE SWPPP. THE PERMITTEE SHALL HAVE EACH OF THESE CONTRACTORS AND SUBCONTRACTORS IDENTIFY AT LEAST ONE TRAINED INDIVIDUAL FROM THE COMPANY THAT WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THE PERMIT. THE PERMITTEE SHALL HAVE AT LEAST ONE TRAINED INDIVIDUAL IS ON SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
- THE OWNER OR OPERATOR OF A CONSTRUCTION ACTIVITY SHALL NOT DISTURB GREATER THAN FIVE (5) ACRES OF SOIL AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE DEPARTMENT OR, IN AREAS UNDER THE JURISDICTION OF A REGULATED, TRADITIONAL LAND USE CONTROL, MS4, THE REGULATED, TRADITIONAL LAND USE MS4, REFER TO THE REQUIREMENTS SET FORTH IN THE CURRENT GENERAL PERMIT FOR OBTAINING PERMISSION TO EXCEED THE FIVE (5) ACRE LIMIT.

B. PROJECT DESCRIPTION

- THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A 68,240 SQUARE FOOT COMMERCIAL BUILDING, INCLUDING SEMI-TRAILER LOADING DOCKS AND PASSENGER VEHICLE PARKING AREAS.
- INSTALLATION OF NEW MUNICIPAL UTILITIES INCLUDING AN 8" WATER MAIN, SANITARY SEWER PIPING AND MANHOLES, PLUS STORM WATER COLLECTION SYSTEM PIPING AND INLET BASINS.
- CONSTRUCTION OF UNIT BLOCK RETAINING WALLS IS ALSO NECESSARY.

C. SITE DESCRIPTION

- THE SITE COVERS 4.4 ACRES OF VACANT LAND COVERED WITH VARIOUS TYPES OF WOODY VEGETATION INCLUDING TREES, BRUSH AND WEEDS. THE SITE HAS BEEN USED FOR THE DISPOSAL OF SPOIL FROM OTHER PROPERTIES AND HAS AN IRREGULAR SURFACE.
- THE SITE IS, IN GENERAL LOWER THAN THE PROPERTIES TO THE EAST (INTERSTATE BATTERY) AND THE SOUTH (KONIGA-MINOLTA), AND IS HIGHER THAN THE PROPERTY TO THE WEST (KING ENT.) AND POLICE DRIVE.
- STORMWATER DRAINAGE CONCENTRATES AT THE NORTHWESTERLY CORNER OF THE PROPERTY AND EXITS THROUGH AND EXISTING 30 INCH CMP CULVERT THAT CROSSES THE DRIVE OF KING ZAK ENTERPRISES AND TRAVELS TO AN EXISTING PONDING AREA CREATED BY THE OLD RAILROAD EMBANKMENT.
- THE PRINCIPAL SOILS IN THE AREA ARE ERIE GRAVELLY SILT LOAM, MARDIN GRAVELLY SILT LOAM, AND MARDIN GRAVELLY SILT LOAM. THE AREA ABOVE THE ERIE GRAVELLY SILT LOAM IS SOMEWHAT POORLY DRAINED, NEARLY LEVEL TO GENTLY SLOPING SOILS FORMED OVER DEEP BEDROCK IN GLACIAL TILL DEPOSITS AND UPLANDS. THE MARDIN SOILS CONSIST OF DEEP, MODERATELY WELL DRAINING, GENTLY SLOPING TO VERY STEEP SOILS, OVER DEEP BEDROCK IN GLACIAL TILL DEPOSITS IN UPLANDS. THE BATH-NAUSSAU SOIL HAS BETTER NATURAL DRAINAGE THAN THE ERIE AND MARDIN SOIL.

D. RESPONSIBILITY AND IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN.

- THE OPERATOR IS THE PERMITTEE PURSUANT TO THE NEW YORK STATE SPDES PERMIT COVERING THE WORK. THE CONTRACTOR, AND HIS/HER SUBCONTRACTORS, IS THE OPERATOR OF ANY CONSTRUCTION ACTIVITY, AND SHALL COMPLY IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, OR AS DIRECTED.
- UPON COMPLETION OF THE WORK AND ACCEPTANCE OF THE STORMWATER POLLUTION PREVENTION SYSTEM CONSTRUCTED IN ACCORDANCE WITH THESE PLANS, THE CITY OF MIDDLETOWN WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF SAID SYSTEM IN ACCORDANCE WITH THE CONDITIONS OF SAID "SPDES" PERMIT.

E. CONSTRUCTION SEQUENCE

- INSTALL SILT FENCE, STRAW BALE DIKES AND OTHER EROSION CONTROL FEATURES AROUND PERIMETER OF AREAS TO BE DISTURBED, ANY STOCKPILE SOIL, AND WHERE NEEDED TO PREVENT THE MIGRATION OF SOIL DURING A RAIN EVENT.
- INSTALL ROCK CONSTRUCTION SITE ENTRANCE AT POINT WHERE ACCESS TO THE WORK IS BEING OBTAINED FROM A TOWN ROAD OR HIGHWAY. (EG: POLICE DRIVE).
- INSTALL PROPOSED SALTATION POND LOCATED ON THE NORTHWESTERLY PORTION OF THE PROJECT.
- PROVIDE SOLID WASTE CONTAINERS (EG: DUMPSTERS, TRASH BINS, GARBAGE CANS) FOR DISPOSAL OF ANCILLARY CONSTRUCTION DEBRIS, TRASH AND GARBAGE.
- UPON COMPLETION OF EARTH MOVING ACTIVITIES, AND AFTER A PERMANENT VEGETATIVE COVER HAS BEEN ESTABLISHED ON EXPOSED EARTH SURFACES, AND THE RISK OF SOIL EROSION IS LOW, REMOVE SILT FENCE, STRAW BALE DIKES, STABILIZED CONSTRUCTION ENTRANCES AND/OR ANY OTHER TEMPORARY EROSION CONTROL FEATURES.
- CLEAN ACCUMULATED SEDIMENT FROM SEDIMENT POND AND RESTORE AREA TO THE PRECONSTRUCTION SURFACE GRADES. STABILIZE AREA WITH SEED/MULCH AND/OR STONE.

F. POLLUTION PREVENTION MEASURES

- THE CONTRACTOR SHALL PROVIDE DUST CONTROL, AS REQUIRED, ON A REGULAR BASIS TO ELIMINATE THE MIGRATION OF AIRBORNE SOIL PARTICLES. DUST CONTROL IS TO BE ACHIEVED BY SPRINKLING WITH WATER.
 - THE CONTRACTOR SHALL PROVIDE LITTER CONTROL WITH THE USE OF COVERED TRASH RECEPTACLES, AND THE REGULAR CLEAN UP OF WASTE PAPER, WRAPPERS, CONTAINERS, PACKAGING AND SIMILAR TRASH GENERATED BY THE WORK AND WORKERS.
 - ALL OILS, GREASE, SOLVENTS AND OTHER FLUIDS NECESSARY FOR THE MAINTENANCE AND OPERATION OF EQUIPMENT USED FOR THE WORK ARE TO BE HANDLED PROPERLY, CONTAINED AND COLLECTED FOR USE OR DISPOSAL AT THE APPROPRIATE RECYCLING CENTER OR COLLECTION SITE.
 - DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE. NO ON SITE BURIAL OF TRASH IS PERMITTED.
- G. CONSTRUCTION WASTE MATERIAL
- DEBRIS AND TRASH FROM CONSTRUCTION ACTIVITY SHALL BE COLLECTED BY THE CONTRACTOR ON A DAILY BASIS. THIS WASTE MATERIAL IS TO BE STORED IN CLOSED CONTAINERS (SEE E (5) ABOVE) AND ULTIMATELY REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DISPOSAL SITE.
 - NO ON-SITE BURIAL OF TRASH IS PERMITTED.

H. STRUCTURAL AND VEGETATIVE MEASURES FOR SOIL

STABILIZATION, RUNOFF CONTROL AND SEDIMENT CONTROL

- TEMPORARY CONTROLS
DURING CLEARING OPERATIONS, WOOD CHIPS FROM GROUND UP BRANCHES AND SMALL TREES MAY BE SPREAD OVER HAIL ROADS TO MINIMIZE SOIL EROSION. INSTALL SEDIMENT BARRIER (SILT) FENCE PRIOR TO ANY EXCAVATION WORK (INCLUDING STUMP REMOVAL).
INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE PRIOR TO CONSTRUCTION TRAFFIC ENTERING AND LEAVING SITE.
CONSTRUCT TEMPORARY DIVERSION SWALES AT ANY POINT WHERE SURFACE WATER CAN BE DIRECTED AWAY FROM DISTURBED SURFACES. IF A SURFACE WATER ROUTE CROSSES A DISTURBED AREA, PROVIDE A RIP-RAP CHANNEL, AS SOON AS POSSIBLE AFTER THE CONSTRUCTION HAS PROCEEDED BEYOND THE WATER ROUTE.
PICK UP TRASH AND LIGHTWEIGHT RUBBISH THAT MAY BE SWEEP AWAY BY WIND. FILL OR GRADE VEHICLE TRACKS TO AVOID EROSION.
- PERMANENT CONTROLS
A) SEED AND MULCH EXPOSED EARTH AREAS TO ESTABLISH PERMANENT VEGETATIVE COVER AS SOON AS PRACTICAL AFTER FINAL GRADING. MULCH SHALL FOLLOW SEEDING BY NO MORE THAN 24 HOURS AFTER SEEDING.
B) CONSTRUCT PERMANENT STORMWATER QUALITY POND AS SHOWN ON THE ACCOMPANYING PLANS

TEMPORARY CONTROLS THAT ARE TO BE CONVERTED TO PERMANENT STORMWATER MANAGEMENT FACILITIES

- RIP-RAP OUTLET PROTECTION AND STONE LINED SWALES USED FOR SEDIMENT CONTROL SHALL BE RETAINED AS PERMANENT.
- IMPLEMENTATION SCHEDULE OF EROSION AND SEDIMENT CONTROLS

- SEDIMENT BARRIER (SILT) FENCE SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE.
- STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO HEAVY TRUCK TRAFFIC ENTERING OR LEAVING THE SITE.
- TEMPORARY DIVERSION SWALES SHALL BE INSTALLED AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.
- STRAW BALE DIKES SHALL BE PLACED WHERE NEEDED IN CONJUNCTION WITH TEMPORARY SWALES AND WATER BARS, AS THE WORK PROCEEDS ACROSS THE PROJECT AREA.
- DUST CONTROL SHALL BE CONDUCTED DURING DRY WEATHER AS NEEDED OR DIRECTED, TO THIS CULVERT.

MAINTENANCE SCHEDULE FOR EROSION AND SEDIMENT CONTROLS

- SEDIMENT BARRIER (SILT) FENCE, MAINTAIN PER DETAIL.
- STABILIZED ROCK CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS TRAFFIC FROM TRACKING SEDIMENT ONTO PUBLIC ROADWAYS. INSPECT AFTER EACH RAIN AND PERIODICALLY REDRESS THE TOP AGGREGATE TO MAINTAIN EFFECTIVENESS.
- STRAW BALE DIKES REQUIRE FREQUENT INSPECTION AFTER EACH RAIN, AND SHALL BE REMOVED AND REPLACED WHEN THEY HAVE SERVED THEIR USEFULNESS.
- TEMPORARY SWALES SHALL BE INSPECTED AFTER EACH RAIN, REPAIR ANY EROSION DAMAGE AND REMOVE ANY ACCUMULATION OF SEDIMENT IN SWALE OR IN OUTLET AREA TO RESTORE OPERATION.

I. DRAINAGE CHARACTERISTICS AND CONTROL

- THE WORK AREA IS TRIBUTARY TO AN EXISTING 30 INCH CMP CULVERT PASSING UNDER THE DRIVE TO KING ZAK ENTERPRISES. THERE ARE TWO SEPARATE INLETS TO THIS CULVERT.
- THERE IS A DRAINAGE SWALE THAT PARALLELS POLICE DRIVE THAT RECEIVES RUNOFF FROM AN EXISTING DRAINAGE PIPE UNDER THE DRIVE FOR INTERSTATE BATTERY. SUBSTANTIAL FLOWS CAN BE EXPECTED IN THIS SWALE DURING A RAIN EVENT, AND WILL NEED TO BE ACCOMMODATED DURING AND AFTER CONSTRUCTION.
- SURFACE RUNOFF WATER THAT IS RELATIVELY CLEAN AND SEDIMENT FREE AND SHALL BE DIVERTED FROM THE WORK WHENEVER POSSIBLE.
- ALTHOUGH NONE OF THESE WATER COURSES ARE PROTECTED STREAMS, THEY ARE NOT TO BE ALTERED.

- PRIOR TO FILING OF THE NOTICE OF TERMINATION (NOT) OR THE END OF PERMIT TERM, THE OPERATOR SHALL HAVE THE QUALIFIED PROFESSIONAL PERFORM A FINAL SITE INSPECTION. THE QUALIFIED PROFESSIONAL SHALL CERTIFY THAT THE SITE HAS UNDERGONE FINAL STABILIZATION (2) USING EITHER VEGETATIVE OR STRUCTURAL STABILIZATION METHODS AND THAT ALL TEMPORARY EROSION AND SEDIMENT CONTROLS REMOVED OR REMOVED HAVE BEEN REMOVED (SUCH AS SILT FENCING) NOT NEEDED FOR LONG-TERM VED.
- THE OPERATOR SHALL CERTIFY THAT THE REQUIREMENTS OF THIS PERMIT HAVE BEEN SATISFIED WITHIN 48 HOURS OF ACTUALLY MEETING SUCH REQUIREMENTS.

E. STABILIZATION (3)

- THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE SOIL DISTURBANCE ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE SOIL DISTURBANCE ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- TEMPORARY STABILIZATION MEANS THAT EXPOSED SOIL HAS BEEN COVERED WITH MATERIAL(S) SET FORTH IN THE TECHNICAL STANDARD, TO PREVENT SOIL FROM ERODING.
- FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A STEM DENSITY OF EIGHTY (80) PERCENT OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED, OR OTHER EQUIVALENT STABILIZATION MEASURES, SUCH AS PERMANENT LANDSCAPE MULCHES, ROCK RIP-RAP OR WASHED/CRUSHED STONE HAVE BEEN APPLIED ON ALL DISTURBED AREAS THAT ARE NOT COVERED BY PERMANENT STRUCTURES, CONCRETE OR PAVEMENT.

F. MAINTENANCE

SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENT PONDS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY FIFTY (50) PERCENT FROM THE DESIGN CAPACITY.

REPORTING & RETENTION OF RECORDS (PERMIT PART VI)

A. RECORD RETENTION

THE OWNER OR OPERATOR SHALL RETAIN A COPY OF THE NOI, NOI ACKNOWLEDGMENT LETTER, SWPPP, MS4 SWPPP ACCEPTANCE FORM AND ANY INSPECTION REPORTS THAT WERE PREPARED IN CONJUNCTION WITH THIS PERMIT FOR A PERIOD OF AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE DEPARTMENT RECEIVES A COMPLETE NOT SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS GENERAL PERMIT.

B. ADDRESSES

WITH THE EXCEPTION OF THE NOI, NOT, AND MS4 SWPPP ACCEPTANCE FORM (WHICH MUST BE SUBMITTED TO THE ADDRESS REFERENCED IN PART II.A.1), ALL WRITTEN CORRESPONDENCE REQUESTED BY THE DEPARTMENT, INCLUDING INDIVIDUAL PERMIT APPLICATIONS, SHALL BE SENT TO THE ADDRESS OF THE APPROPRIATE DOW WATER (SPDES) PROGRAM CONTACT AT THE REGIONAL OFFICE LISTED IN APPENDIX F.

NY'S DEPT. OF ENVIRONMENTAL CONSERVATION
DIVISION OF ENVIRONMENTAL PERMITS
21 SOUTH PUTTS CORNERS ROAD
NEW PALTZ, NY 12561-1696

STANDARD PERMIT CONDITIONS (PERMIT PART VI)

A. DUTY TO COMPLY:

THE OWNER OR OPERATOR MUST COMPLY WITH ALL CONDITIONS OF THIS PERMIT. ALL CONTRACTORS AND SUBCONTRACTORS ASSOCIATED WITH THE PROJECT MUST COMPLY WITH THE TERMS OF THE SWPPP. ANY NON-COMPLIANCE WITH THIS PERMIT CONSTITUTES A VIOLATION OF THE CLEAN WATER ACT (CWA) AND THE ECL, AND IS GROUNDS FOR AN ENFORCEMENT ACTION AGAINST THE OWNER OR OPERATOR AND/OR THE CONTRACTOR/SUBCONTRACTOR. PERMIT REVOCATION OR MODIFICATION; OR DENIAL OF A PERMIT RENEWAL APPLICATION. UPON A FINDING OF SIGNIFICANT NON-COMPLIANCE WITH THIS PERMIT OR THE APPLICABLE SWPPP, THE DEPARTMENT SHALL HAVE THE AUTHORITY TO STOP ALL CONSTRUCTION ACTIVITY AT THE SITE UNTIL THE NON-COMPLIANCE IS REMEDIATED. THE STOP WORK ORDER SHALL BE IN WRITING, SHALL DESCRIBE THE NON-COMPLIANCE IN DETAIL, AND SHALL BE SENT TO THE OWNER OR OPERATOR.

IF ANY HUMAN REMAINS OR ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING EXCAVATION, THE OWNER OR OPERATOR MUST IMMEDIATELY CEASE, OR CAUSE TO CEASE, ALL CONSTRUCTION ACTIVITY IN THE AREA OF THE REMAINS AND NOTIFY THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) IMMEDIATELY BY PHONE UNTIL WRITTEN PERMISSION TO DO SO HAS BEEN RECEIVED FROM THE RWE.

B. CONTINUATION OF THE EXPIRED GENERAL PERMIT:

THIS PERMIT EXPIRES FIVE (5) YEARS FROM EFFECTIVE DATE. IF THE NEW GENERAL PERMIT IS NOT ISSUED PRIOR TO THE EXPIRATION OF THIS GENERAL PERMIT, AND OWNERS OR OPERATOR OF THIS PERMIT MAY, AT HIS/HER OPTION, CHOOSE TO CONTINUE TO OPERATE AND DISCHARGE IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT, IF IT IS EXTENDED PURSUANT TO THE STATE ADMINISTRATIVE PROCEDURE ACT AND 6 NYCRR PART 621, UNTIL A NEW GENERAL PERMIT IS ISSUED.

C. ENFORCEMENT

FAILURE OR THE OWNER OR OPERATOR, ITS CONTRACTORS, SUBCONTRACTORS, AGENTS AND/OR ASSIGNS TO STRICTLY ADHERE TO ANY OF THE PERMIT REQUIREMENTS CONTAINED HEREIN SHALL CONSTITUTE A VIOLATION OF THIS PERMIT. THERE ARE SUBSTANTIAL CRIMINAL, CIVIL, AND ADMINISTRATIVE PENALTIES ASSOCIATED WITH VIOLATING THE PROVISIONS OF THIS PERMIT. FINES OF UP TO \$37,500 PER DAY FOR EACH VIOLATION OF THIS PERMIT FOR UP TO FIFTEEN (15) YEARS MAY BE ASSESSED DEPENDING UPON THE NATURE AND DEGREE OF THE OFFENSE.

D. NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE:

IT SHALL NOT BE A DEFENSE FOR AN OWNER OR OPERATOR IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE CONSTRUCTION ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT.

E. DUTY TO MITIGATE:

THE OWNER OR OPERATOR AND ITS CONTRACTORS AND SUBCONTRACTORS SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN POLLUTION AND/OR PERSONAL INJURY OR PROPERTY DAMAGE, OR ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.

F. DUTY TO PROVIDE INFORMATION

THE OWNER OR OPERATOR SHALL FURNISH THE DEPARTMENT, WITHIN A REASONABLE TIME, WITH ALL INFORMATION REQUESTED BY THE DEPARTMENT NECESSARY TO DEMONSTRATE ELIGIBILITY AND ANY INFORMATION TO DETERMINE COMPLIANCE WITH THIS PERMIT, OR TO DETERMINE WHETHER CAUSE EXISTS FOR MODIFYING OR REVOKING THIS PERMIT. THE OWNER OR OPERATOR SHALL, UNDER THIS PERMIT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT, THE NOI, SWPPP AND INSPECTION REPORTS REQUIRED BY THIS PERMIT ARE PUBLIC DOCUMENTS THAT THE OWNER OR OPERATOR MUST MAKE AVAILABLE FOR REVIEW AND COPYING BY ANY PERSON WITHIN FIVE (5) BUSINESS DAYS OF THE OWNER OR OPERATOR RECEIVING A WRITTEN REQUEST BY ANY SUCH PERSON TO REVIEW THESE DOCUMENTS. COPYING OF DOCUMENTS WILL BE DONE AT THE REQUESTER'S EXPENSE.

G. OTHER INFORMATION

WHEN THE OWNER OR OPERATOR BECOMES AWARE THAT THEY FAILED TO SUBMIT ANY RELEVANT FACTS, OR SUBMITTED INCORRECT INFORMATION IN THE NOI OR IN ANY OF THE DOCUMENTS REQUIRED BY THIS PERMIT, OR HAVE MADE SUBSTANTIVE REVISIONS TO THE SWPPP (AS THE RECORD OF THE DEPARTMENT'S ACTION, NOT LIMIT, SIGNIFICANTLY, THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICE(S) CHANGE, THERE IS A REDUCTION IN THE SIZING OF THE POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES, OR THERE IS AN INCREASE IN THE DISTURBANCE AREA OR IMPERVIOUS AREA) WHICH WERE NOT REFLECTED IN THE ORIGINAL NOI SUBMITTED TO THE DEPARTMENT, THEY SHALL PROMPTLY SUBMIT SUCH FACTS AND INFORMATION TO THE DEPARTMENT FOR REVIEW AND CORRECTION. INFORMATION IN PART II.A. OF THIS PERMIT. FAILURE OF THE OWNER OR OPERATOR TO CORRECT OR SUPPLEMENT ANY RELEVANT FACTS WITHIN FIVE (5) BUSINESS DAYS OF BECOMING AWARE OF THE DEFICIENCY SHALL CONSTITUTE A VIOLATION OF THIS PERMIT.

SIGNATORY REQUIREMENTS:

- ALL NOIS AND NOTS SHALL BE SIGNED AS FOLLOWS:

- FOR A CORPORATION THESE FORMS SHALL BE SIGNED BY A RESPONSIBLE CORPORATE OFFICER, FOR THE PURPOSE OF THIS SECTION, A RESPONSIBLE CORPORATE OFFICER MEANS:
 - A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF A PRINCIPAL BUSINESS FUNCTION, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION; OR
 - THE MANAGER OF ONE OR MORE MANUFACTURING, PRODUCTION OR OPERATING FACILITIES, PROVIDED THE MANAGER IS AUTHORIZED TO MAKE MANAGEMENT DECISIONS FOR THE OPERATION OF THE REGULATED FACILITY INCLUDING HAVING THE EXPLICIT OR IMPLICIT DUTY OF MAKING MAJOR CAPITAL INVESTMENT DECISIONS AND RECOMMENDATIONS, AND INITIATING AND DIRECTING OTHER COMPREHENSIVE MEASURES TO ASSURE LONG TERM ENVIRONMENTAL COMPLIANCE WITH ENVIRONMENTAL LAWS AND REGULATORY REQUIREMENTS; AND WHERE AUTHORITY TO SIGN DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE PROCEDURES.

- FOR A PARTNERSHIP OR SOLE PROPRIETORSHIP THESE FORMS SHALL BE SIGNED BY A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY; OR
- FOR A MUNICIPALITY, STATE, FEDERAL, OR OTHER PUBLIC AGENCY THESE FORMS SHALL BE SIGNED BY EITHER A PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL, FOR PURPOSES OF THIS SECTION, A PRINCIPAL EXECUTIVE OFFICER OF A FEDERAL AGENCY INCLUDES:
 - THE CHIEF EXECUTIVE OFFICER OF THE AGENCY, OR
 - A SENIOR EXECUTIVE OFFICER HAVING RESPONSIBILITY FOR THE OVERALL OPERATIONS OF A PRINCIPAL GEOGRAPHIC UNIT OF THE AGENCY (E.G., REGIONAL ADMINISTRATORS OF EPA).

- THE SWPPP AND OTHER INFORMATION REQUESTED BY THE DEPARTMENT SHALL BE SIGNED BY A PERSON DESCRIBED IN PART VI.H.1. OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. A PERSON IS A DULY AUTHORIZED REPRESENTATIVE ONLY IF:
 - THE AUTHORIZATION IS MADE IN WRITING BY A PERSON DESCRIBED IN PART VI.H.1 OF THIS PERMIT;
 - THE AUTHORIZATION SPECIFIES EITHER AN INDIVIDUAL OR A POSITION HAVING RESPONSIBILITY FOR THE OVERALL OPERATION OF THE REGULATED FACILITY OR ACTIVITY, SUCH AS THE POSITION OF PLANT MANAGER, OPERATOR OF A WELL OR A WELL FIELD, SUPERINTENDENT, POSITION OF EQUIVALENT RESPONSIBILITY, AN INDIVIDUAL OR POSITION HAVING OVERALL RESPONSIBILITY FOR ENVIRONMENTAL MATTERS FOR THE COMPANY. (A DULY AUTHORIZED REPRESENTATIVE MAY THUS BE EITHER A NAMED INDIVIDUAL OR ANY INDIVIDUAL OCCUPPING A NAMED POSITION) AND,
 - THE WRITTEN AUTHORIZATION SHALL INCLUDE THE NAME, TITLE AND SIGNATURE OF THE AUTHORIZED REPRESENTATIVE AND BE ATTACHED TO THE SWPPP.

- ALL INSPECTION REPORTS SHALL BE SIGNED BY THE QUALIFIED INSPECTOR THAT PERFORMS THE INSPECTION.
- THE MS4 SWPPP ACCEPTANCE FORM SHALL BE SIGNED BY THE PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL FROM THE REGULATED, TRADITIONAL LAND USE CONTROL, MS4, OR BY A DULY AUTHORIZED REPRESENTATIVE OF THAT PERSON. IT SHALL CONSTITUTE A PERMIT VIOLATION IF AN INCORRECT AND/OR IMPROPER SIGNATORY AUTHORIZES ANY REQUIRED FORMS, SWPPP AND/OR INSPECTION REPORTS.

I. PROPERTY RIGHTS

THE ISSUANCE OF THIS PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR ANY EXCLUSIVE PRIVILEGES, NOR DOES IT AUTHORIZE ANY INJURY TO, OR PRIOR INJURY TO, ANY PERSON'S PROPERTY RIGHTS, NOR ANY INFRINGEMENT OF FEDERAL, STATE OR LOCAL LAWS OR REGULATIONS. OWNERS OR OPERATORS MUST OBTAIN ANY APPLICABLE CONVEYANCES, EASEMENTS, LICENSES AND RIGHTS TO REAL PROPERTY PRIOR TO COMMENCING CONSTRUCTION ACTIVITY.

J. SEVERABILITY

THE PROVISIONS OF THIS PERMIT ARE SEVERABLE, AND IF ANY PROVISION OF THIS PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS PERMIT TO ANY CIRCUMSTANCE, IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES, AND THE REMAINDER OF THIS PERMIT SHALL NOT BE AFFECTED THEREBY.

K. REQUIREMENT TO OBTAIN COVERAGE UNDER AN ALTERNATIVE PERMIT

- THE DEPARTMENT MAY REQUIRE ANY OWNER OR OPERATOR AUTHORIZED BY THIS PERMIT TO APPLY FOR AND/OR OBTAIN EITHER AN INDIVIDUAL SPDES PERMIT OR ANOTHER SPDES GENERAL PERMIT. WHEN THE DEPARTMENT ACQUIRES ANY DISCHARGE AUTHORIZED THROUGH A GENERAL PERMIT TO APPLY FOR AN INDIVIDUAL SPDES PERMIT, IT SHALL NOTIFY THE DISCHARGER IN WRITING THAT A PERMIT APPLICATION IS REQUIRED. THE DISCHARGER SHALL BE NOTICED BY THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, IN WRITING, THAT THE DISCHARGER SHALL APPLY FOR AN ALTERNATIVE AUTHORIZATION IS NECESSARY OR WHERE THE DEPARTMENT HAS NOT PROVIDED A PERMIT DETERMINATION IN ACCORDANCE WITH PART 621 OF THIS TITLE.
- WHEN AN INDIVIDUAL SPDES PERMIT IS ISSUED TO A DISCHARGER, THE DEPARTMENT SHALL TERMINATE APPLICATIONS MUST BE SUBMITTED TO THE APPROPRIATE PERMIT ADMINISTRATOR AT THE REGIONAL OFFICE. THE DEPARTMENT MAY GRANT ADDITIONAL TIME UPON DEMONSTRATION, TO THE DISCHARGER TO OBTAIN AN ALTERNATIVE AUTHORIZATION. THE DEPARTMENT SHALL APPLY FOR AN ALTERNATIVE AUTHORIZATION IS NECESSARY OR WHERE THE DEPARTMENT HAS NOT PROVIDED A PERMIT DETERMINATION IN ACCORDANCE WITH PART 621 OF THIS TITLE.

L. PROPER OPERATION AND MAINTENANCE

THE OWNER OR OPERATOR SHALL AT ALL TIMES PROPERLY OPERATE AND MAINTAIN ALL FACILITIES AND SYSTEMS OF TREATMENT AND CONTROL (AND RELATED APPURTENANCES) WHICH ARE INSTALLED OR USED BY THE OWNER OR OPERATOR TO ACHIEVE COMPLIANCE WITH THE CONDITIONS OF THIS PERMIT AND WITH THE REQUIREMENTS OF THE SWPPP.

M. INSPECTION AND ENTRY

THE OWNER OR OPERATOR SHALL ALLOW AN AUTHORIZED REPRESENTATIVE OF THE DEPARTMENT, OR AN APPLICABLE COUNTY HEALTH DEPARTMENT, IN THE CASE OF A CONSTRUCTION SITE WHICH DISCHARGES THROUGH AN MS4, AN AUTHORIZED REPRESENTATIVE OF THE MS4 RECEIVING THE DISCHARGE, UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS AS MAY BE REQUIRED BY LAW, TO:

- ENTER UPON THE OWNER'S OR OPERATOR'S PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT;
- HAVE ACCESS TO AND COPY AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE CONDITIONS OF THIS PERMIT; AND
- INSPECT AT REASONABLE TIMES ANY FACILITIES OR EQUIPMENT (INCLUDING MONITORING AND CONTROL EQUIPMENT).

- SAMPLE OR MONITOR AT REASONABLE TIMES, FOR PURPOSES OF ASSURING PERMIT COMPLIANCE OR AS OTHERWISE AUTHORIZED BY THE ACT OR ECL, ANY SUBSTANCES OR PARAMETERS AT ANY LOCATION.

N. PERMIT ACTIONS

THIS PERMIT MAY, AT ANY TIME, BE MODIFIED, SUSPENDED, REVOKED, OR REVOKED BY THE DEPARTMENT WITH 6 NYCRR PART 621. THE FILING OF A REQUEST BY THE OWNER OR OPERATOR FOR A PERMIT MODIFICATION, REVOCATION AND REISSUANCE, TERMINATION, A NOTIFICATION OF COMPLIANCE OR NON-COMPLIANCE, OR A REQUEST FOR A PERMIT, SHALL NOT DIMINISH AND/OR STAY COMPLIANCE WITH ANY TERMS OF THIS PERMIT.

O. DEFINITIONS

DEFINITIONS OF KEY TERMS ARE INCLUDED IN APPENDIX A (NOT INCLUDED HEREON) OF THIS PERMIT.

P. RE-OPENER CLAUSE

- IF THERE IS EVIDENCE INDICATING POTENTIAL OR REALIZED IMPACTS ON WATER QUALITY DUE TO ANY STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY COVERED BY THIS PERMIT, THE OWNER OR OPERATOR EQUIPPED WITH THE SWPPP, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION; OR
- ANY DEPARTMENT INITIATED PERMIT MODIFICATION, SUSPENSION OR REVOCATION OF THIS PERMIT, SHALL BE CONDUCTED WITH 6 NYCRR PART 621, 6 NYCRR 750-1.18, AND 6 NYCRR 750-1.20.

Q. PENALTIES FOR FALSIFICATION OF FORMS AND REPORTS

IN ACCORDANCE WITH 6 NYCRR PART 750-2.4 AND 750-2.5, ANY PERSON WHO KNOWINGLY PROVIDES FALSE INFORMATION TO OBTAIN A PERMIT, OR CERTIFICATION IN ANY APPLICATION, RECORD, REPORT OR OTHER DOCUMENT FILED OR REQUIRED TO BE MAINTAINED UNDER THIS PERMIT, INCLUDING RECORDS OF COMPLIANCE OR NON-COMPLIANCE, OR A REQUEST FOR A PERMIT, SHALL BE PUNISHED IN ACCORDANCE WITH ECL 8 71-1933 AND OR ARTICLES 175 AND 210 OF THE NEW YORK STATE PENAL LAW.

R. OTHER PERMITS

NOTHING IN THIS PERMIT RELIEVES THE OWNER OR OPERATOR FROM A REQUIREMENT TO OBTAIN ANY OTHER PERMITS REQUIRED BY LAW.

OWNER/OPERATORS CERTIFICATION (SEE PART 1.D "RESPONSIBILITY")

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW."

NAME (PRINT) _____
TITLE _____ DATE _____
ADDRESS _____
TELEPHONE _____ EMAIL _____
SIGNATURE _____

OWNER/OPERATORS CERTIFICATION (SEE PART 1.D "RESPONSIBILITY")

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. FURTHER, I HEREBY CERTIFY THAT THE SWPPP MEETS ALL FEDERAL, STATE, AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. I AM AWARE THAT FALSE STATEMENTS HEREON ARE PUNISHABLE AS A CLASS A MISDEMEANOR PURSUANT TO SECTION 210.45 OF THE PENAL LAW."

NAME (PRINT) _____
TITLE _____ DATE _____
ADDRESS _____
TELEPHONE _____ EMAIL _____
SIGNATURE _____

FOOTNOTES:

- "COMMENCEMENT OF CONSTRUCTION" MEANS THE INITIAL REMOVAL OF VEGETATION AND DISTURBANCE OF SOILS ASSOCIATED WITH CLEARING, GRADING OR EXCAVATING ACTIVITIES OR OTHER CONSTRUCTION ACTIVITIES.
- "FINAL STABILIZATION" MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH A DENSITY OF EIGHTY (80) PERCENT HAS BEEN ESTABLISHED OR EQUIVALENT STABILIZATION MEASURES SUCH AS THE USE OF MULCHES OR GEOTEXTILES HAVE BEEN EMPLOYED ON ALL UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES.
- "STABILIZATION" MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIPRAP OR GABIONS).
- "SWCD" MEANS SOIL AND WATER CONSERVATION DISTRICT.
- "SPDES" MEANS STATE POLLUTION DISCHARGE ELIMINATION SYSTEM.

7/30/21	GEN PERMIT NO. SUBMIT FOR SIGNATURE
11/10/20	SUBMIT FOR SIGNATURE
7/10/18	MAY 15 REVIEW RESPONSE
2/08/18	PLANNING BOARD REVIEW
7/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580

TMD TM DEPUY
ENGINEERING & LAND SURVEYING, P.C.
1000 ROUTE 902, MIDDLETOWN, NY 13441
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POLICE DRIVE WAREHOUSE
VILLAGE OF GOSHEN

TAX MAP: SEC. 122, B.L.K. 1, LOT 102

SWPPP GENERAL NOTES AND SPECIFICATIONS

DRAWING TITLE: _____
Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Education Law.

Scale: _____ Drawing No: 9 of 13 Project No: 210801
05007R
CAD Reference: 03008-SWP01 of SWPPP Sheet No: 1 of 5

E&S PLAN GENERAL NOTES

1. THIS SOIL EROSION AND SEDIMENTATION CONTROL (E&S) PLAN HAS BEEN PREPARED TO ILLUSTRATE E&S MEASURES AND METHODS FOR COMPLIANCE WITH THE CONDITIONS OF NYSDEC SPDES GENERAL PERMIT #GPO-15-002. THE INFORMATION SHOWN HEREON REGARDING THE PROPOSED IMPROVEMENTS IS INTENDED TO PROVIDE A REFERENCE FOR THE LOCATION OF E&S MEASURES. WHEN A DESCRIPTION OR LOCATION OF A PROPOSED IMPROVEMENT SHOWN HEREON DIFFERS FROM THAT SAME ITEM SHOWN ON THE SEPARATE SITE PLAN DRAWINGS, THE SITE PLAN SHALL RULE. THIS PLAN SHALL BE VALID ONLY FOR THE E&S MEASURES.
2. IT IS THE NATURE OF E&S PREVENTION MEASURES TO CHANGE WITH THE PROGRESS OF SITE DEVELOPMENT. THIS PLAN IS NOT INTENDED TO ADDRESS EVERY CONDITION THAT MAY ARISE DUE TO THE DISTURBANCES MADE DURING THE COURSE OF CONSTRUCTION ACTIVITIES. SUPPLEMENTAL E&S PRACTICES BEYOND WHAT IS SHOWN HEREON, SHALL BE REQUIRED TO CONFORM WITH SPDES GENERAL PERMIT.

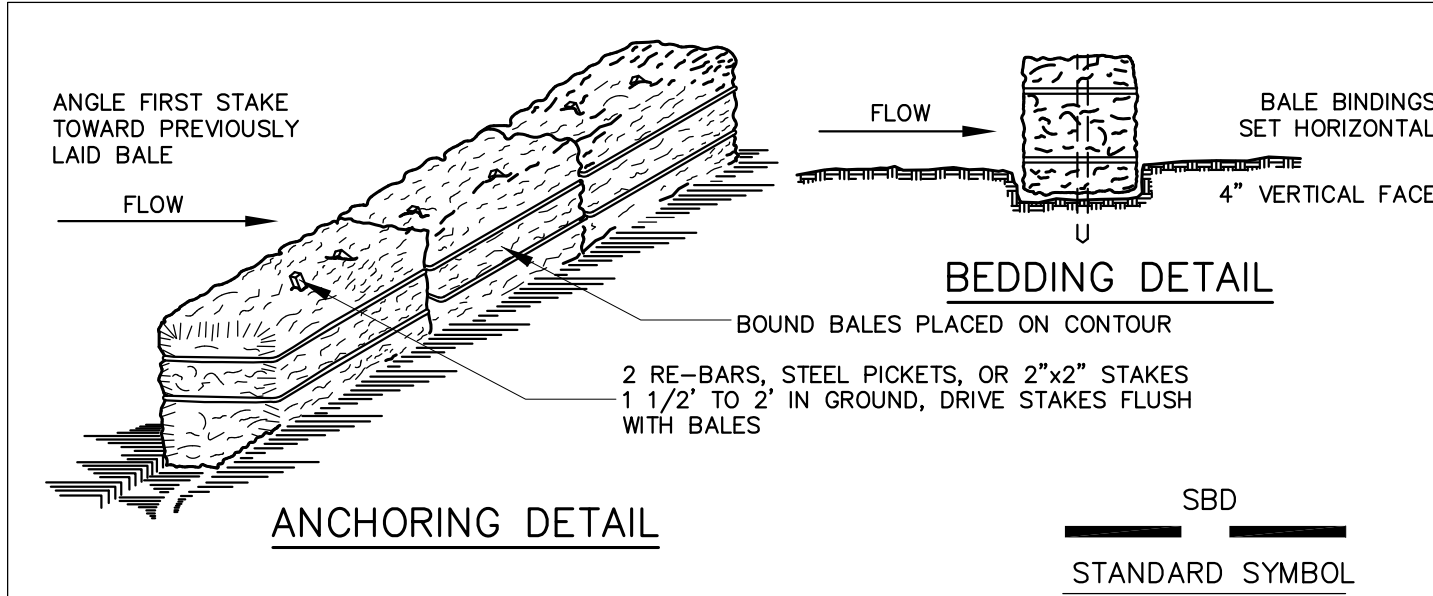
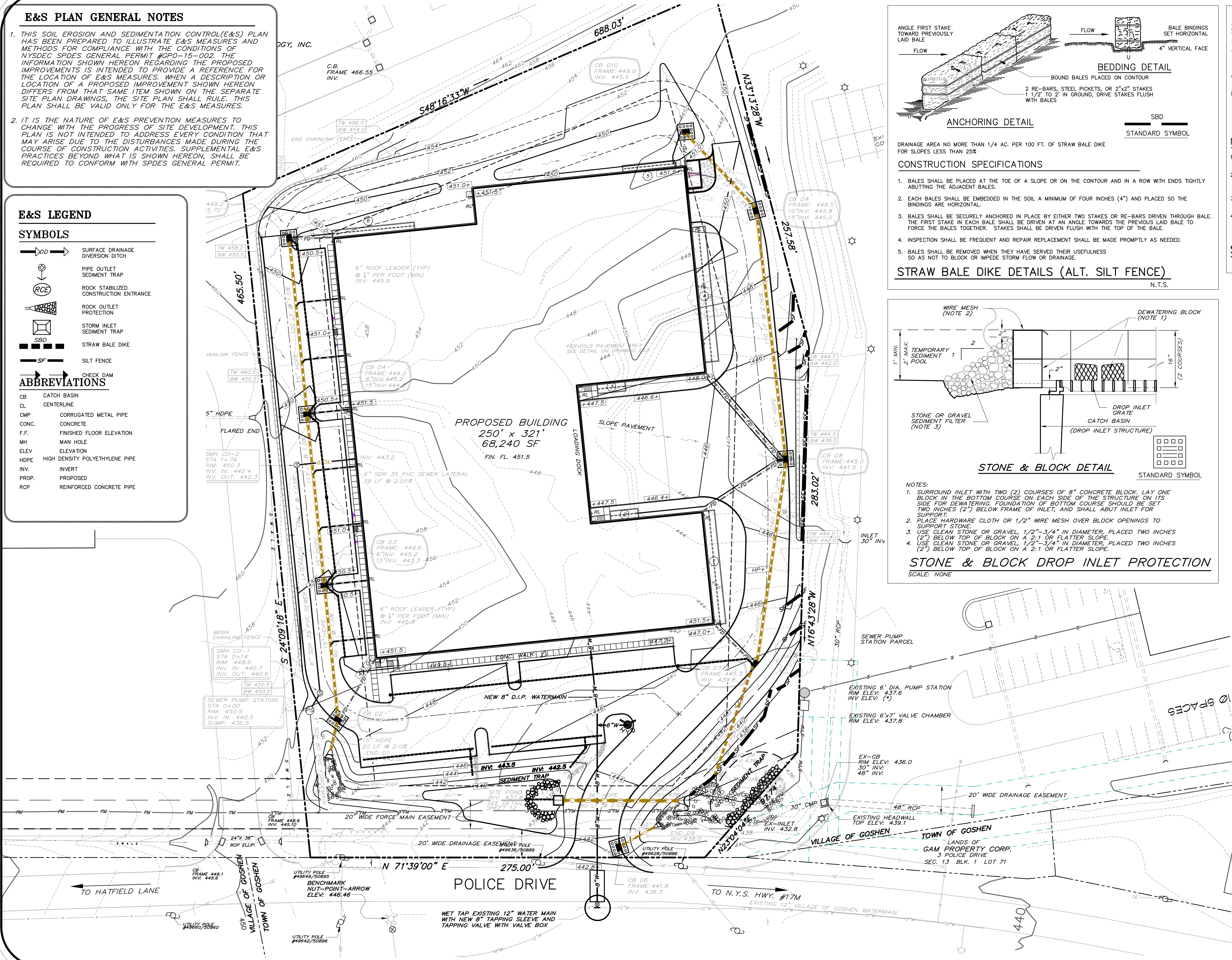
E&S LEGEND

SYMBOLS

- SURFACE DRAINAGE DIVERSION DITCH
- PIPE OUTLET SEDIMENT TRAP
- ROCK STABILIZED CONSTRUCTION ENTRANCE
- ROCK OUTLET PROTECTION
- STORM INLET SEDIMENT TRAP
- STRAW BALE DIKE
- SILT FENCE

ABBREVIATIONS

- CB CATCH BASIN
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CONC. CONCRETE
- F.F. FINISHED FLOOR ELEVATION
- MH MAN HOLE
- ELEV ELEVATION
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV. INVERT
- PROP. PROPOSED
- RCP REINFORCED CONCRETE PIPE

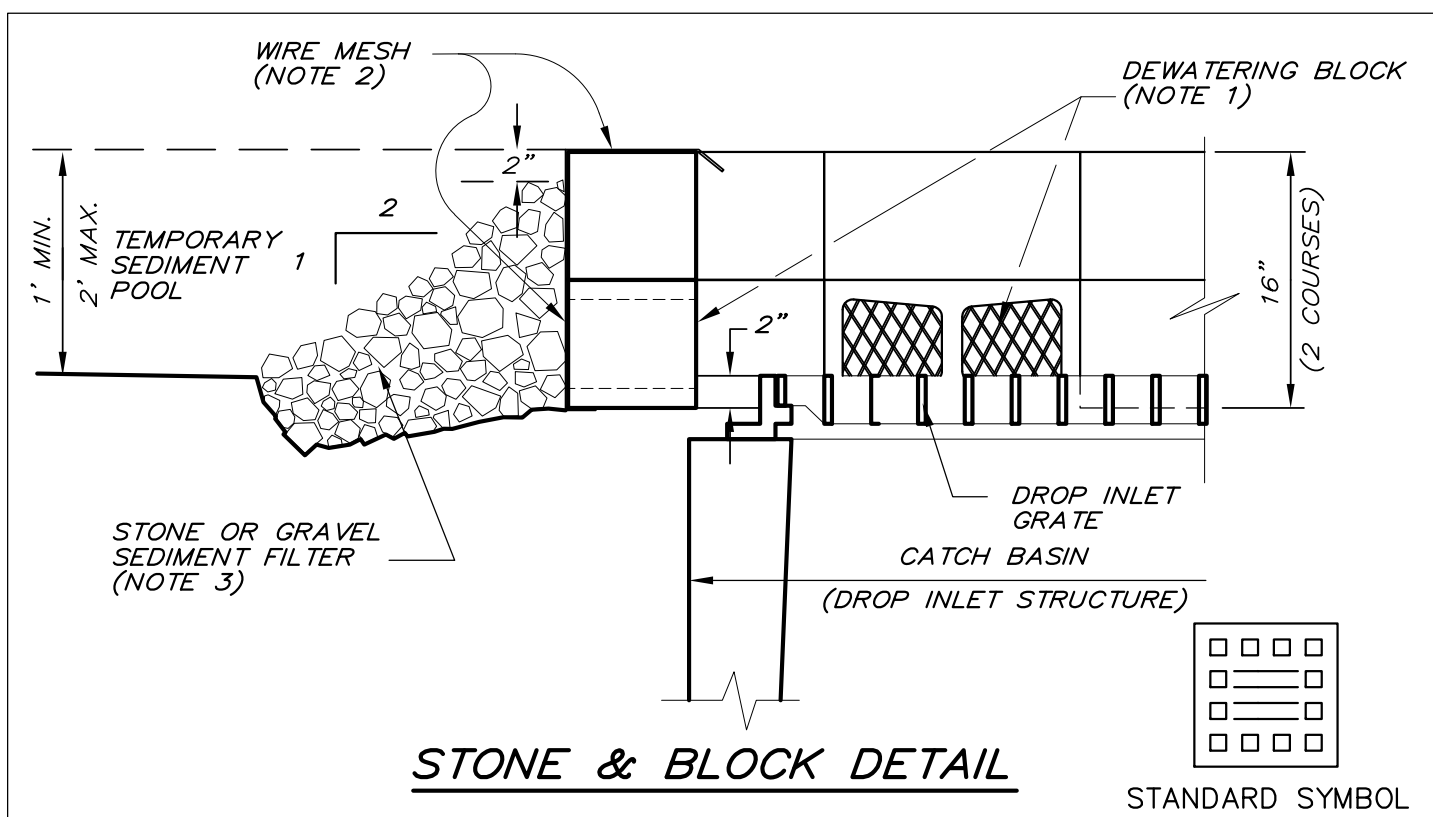


CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALES SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES (4") AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN AT AN ANGLE TOWARDS THE PREVIOUS LAID BALE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE DIKE DETAILS (ALT. SILT FENCE)

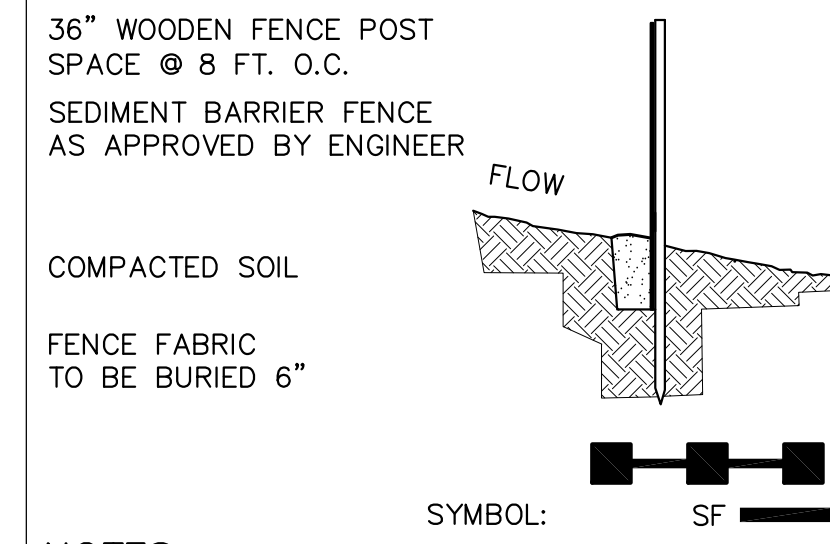
N.T.S.



- NOTES:
1. SURROUND INLET WITH TWO (2) COURSES OF 8" CONCRETE BLOCK. LAY ONE BLOCK IN THE BOTTOM COURSE ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION OF BOTTOM COURSE SHOULD BE SET TWO INCHES (2") BELOW FRAME OF INLET, AND SHALL ABUT INLET FOR SUPPORT.
 2. PLACE HARDWARE CLOTH OR 1/2" WIRE MESH OVER BLOCK OPENINGS TO SUPPORT STONE.
 3. USE CLEAN STONE OR GRAVEL, 1/2"-3/4" IN DIAMETER, PLACED TWO INCHES (2") BELOW TOP OF BLOCK ON A 2:1 OR FLATTER SLOPE.
 4. USE CLEAN STONE OR GRAVEL, 1/2"-3/4" IN DIAMETER, PLACED TWO INCHES (2") BELOW TOP OF BLOCK ON A 2:1 OR FLATTER SLOPE.

STONE & BLOCK DROP INLET PROTECTION

SCALE: NONE



NOTES:

1. SILT FENCE SHALL BE PREFABRICATED FENCE UNITS AS MANUFACTURED BY ENVIROFENCE OR APPROVED EQUAL.
2. SILT FENCE POSTS SHALL BE TWO INCH (2") SQUARE HARDWOOD POSTS, MIN. THREE FOOT (3') LONG, SPACED AT EIGHT FOOT (8') ON CENTER.
3. WHEN TWO SECTIONS OF FENCE ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES (6") AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND ACCUMULATED SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE FENCE.

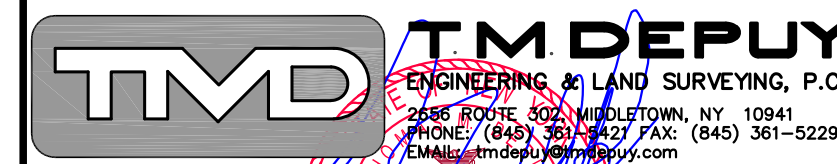
SILT FENCE

N.T.S.

1/30/21	SUBMIT FOR SIGNATURE
1/09/20	SITE POND REFERENCES
1/10/18	MAY 15 REVIEW RESPONSE
5/08/18	PLANNING BOARD REVIEW
1/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
845.294.0558 Fax 845.294.0580



1 POLICE DRIVE WAREHOUSE
VILLAGE OF GOSHEN

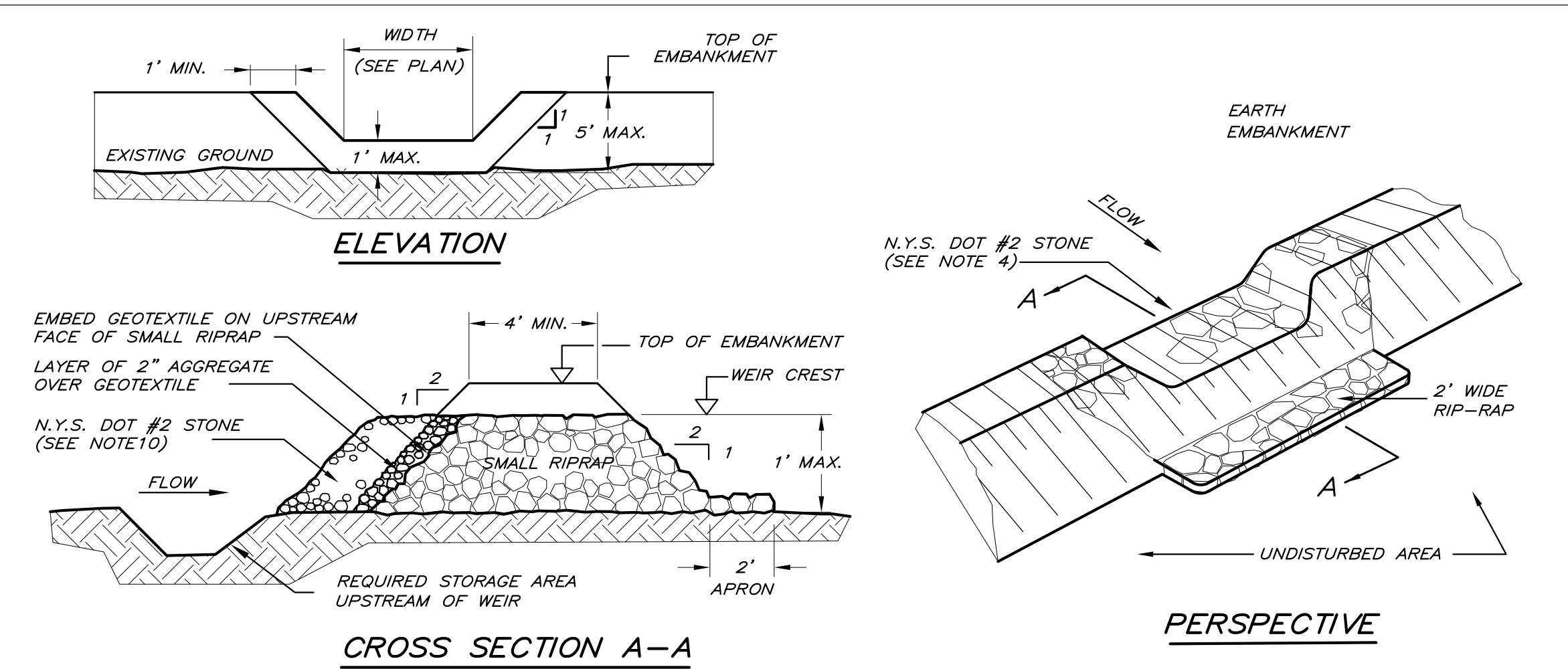
TAX MAP: SEC. 122, BLK. 1, LOT 102

SOIL EROSION AND SEDIMENT CONTROL PLAN

DRAWING TITLE:

Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Educational Law.

Scale:	Drawing No.:	Project No.:
1" = 30'	10 of 13	21508.01
CAD Reference:	D.C.H.D. Sheet No.:	SWPPP Sheet
03008_SWP02	of	No. 2 of 5



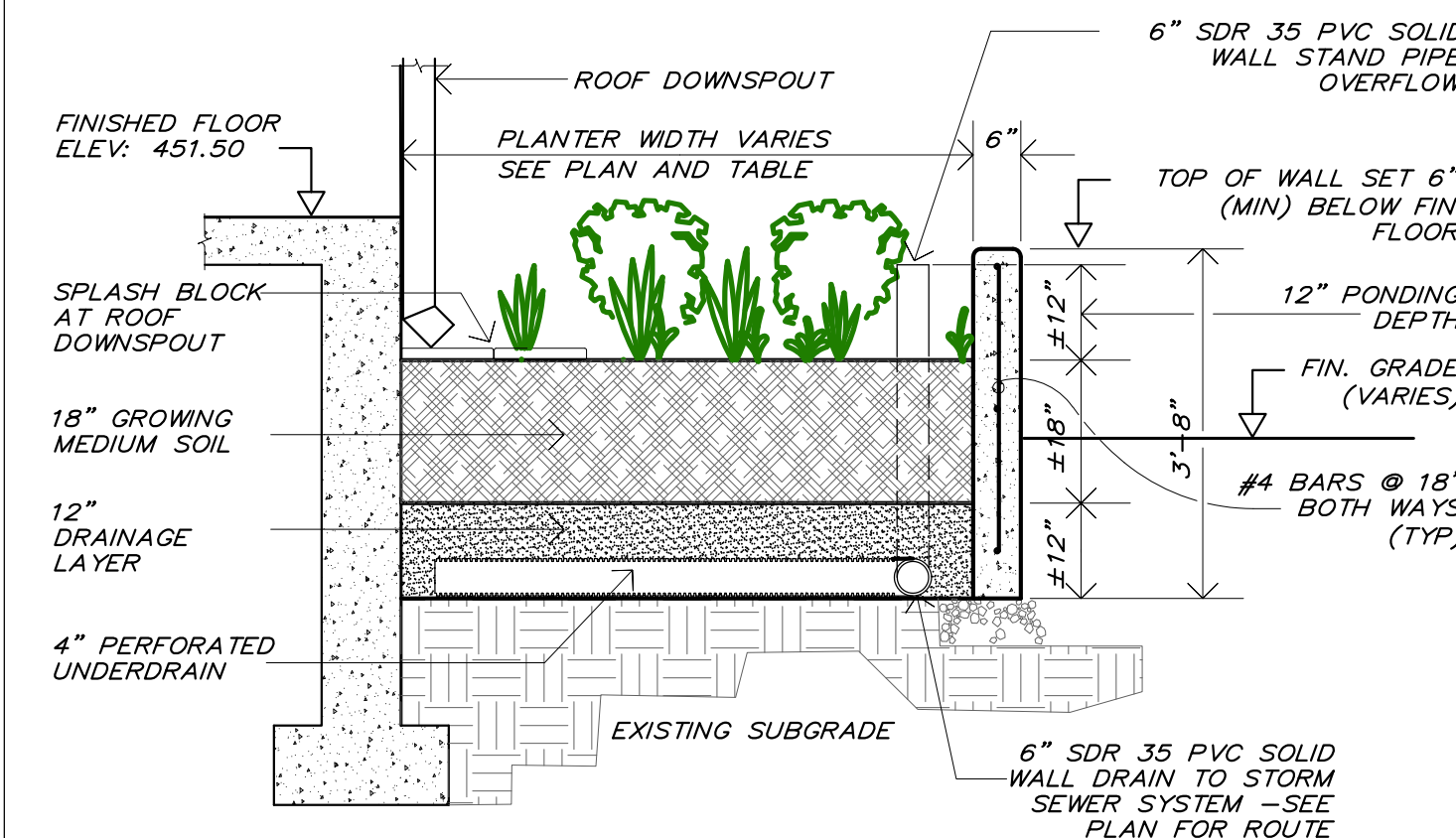
CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET WEIR SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1' THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
6. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
8. THE STRUCTURE IS PERMANENT OUTLET FOR SEDIMENT FOREBAYS SHOWN ON THE PLANS.
9. SUBSTITUTE A ONE (1') FOOT LAYER OF N.Y.S. DOT #2 STONE (3/4") FOR THE EMBEDDED GEOTEXTILE ON THE UPSTREAM SIDE OF THE SMALL RIPRAP STONE.

A
SWP3

SEDIMENT FOREBAY STONE OUTLET

NOT TO SCALE

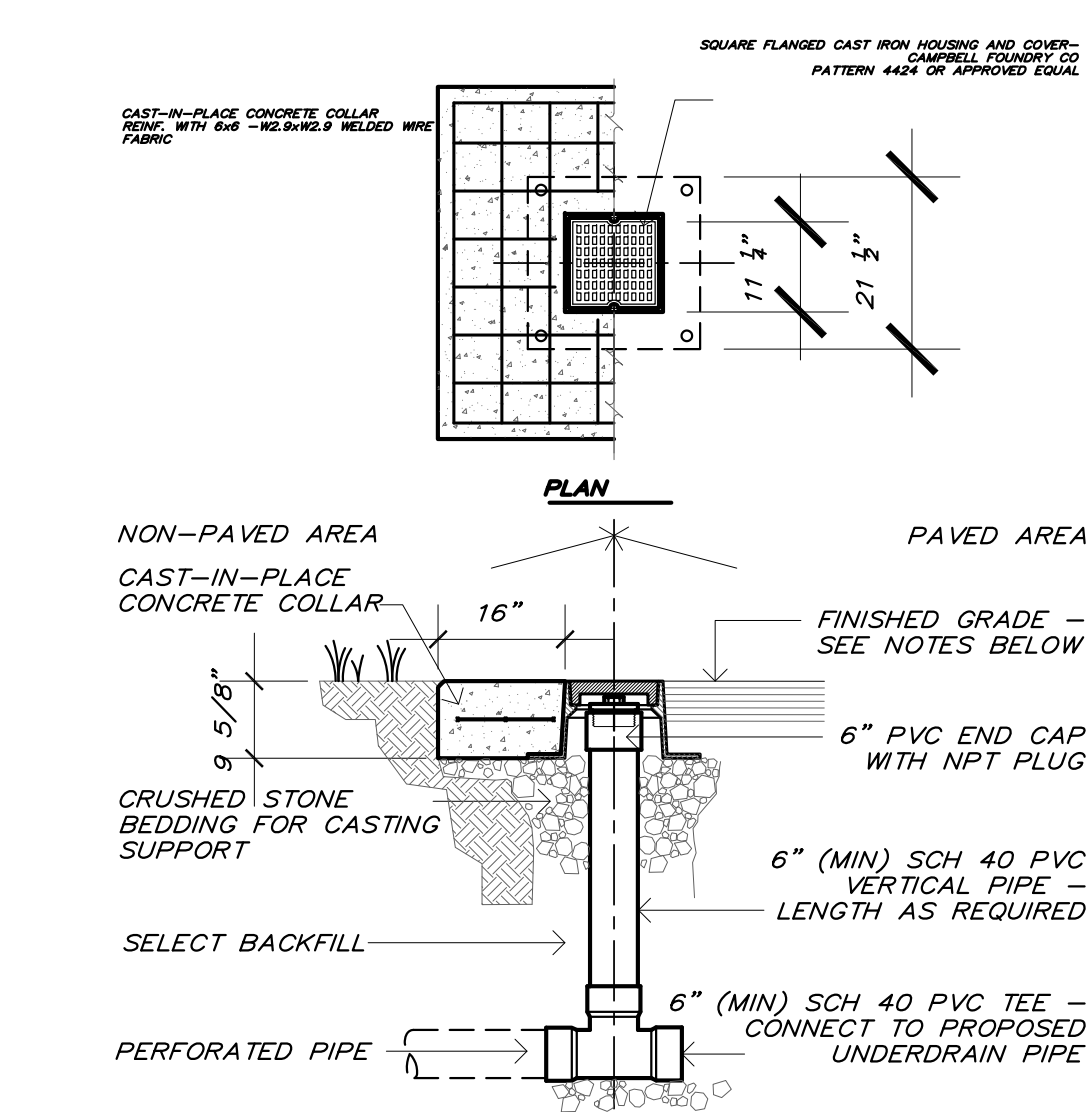


1. STORMWATER PLANTERS ARE DESIGNED TO COLLECT AND FILTER RUNOFF FROM THE BUILDING ROOF.
2. PLANTER WALLS CAN BE CONSTRUCTED DURING BUILDING ERECTION, AND INSTALLATION OF MEDIA SHALL PROCEED WHEN SITE WORK IS NEAR COMPLETION, JUST PRIOR TO LANDSCAPING.
3. GROWING MEDIUM SOIL SHALL BE A UNIFORM MIXTURE OF 70% SAND, 30% TOPSOIL AND 5% COMPOST OR PEAT.
4. DRAINAGE LAYER SHALL BE CLEAN SAND MEETING ASTM C33 SPECIFICATIONS.
5. NO ROOTS, BRANCHES, WOODY DEBRIS OR CONSTRUCTION WASTE MATERIAL SHALL BE PERMITTED IN THE STORMWATER PLANTER.
6. PLANTER TO BE SEEDED WITH NORTHEAST WETLAND DIVERSITY SEED MIX DESCRIBED WITH THE STORMWATER POND DETAIL ON SHEET 5.
7. REFER TO LANDSCAPE PLANS FOR ADDITIONAL PLANTING

D
SWP3

STORMWATER PLANTER DETAIL

SCALE: NONE



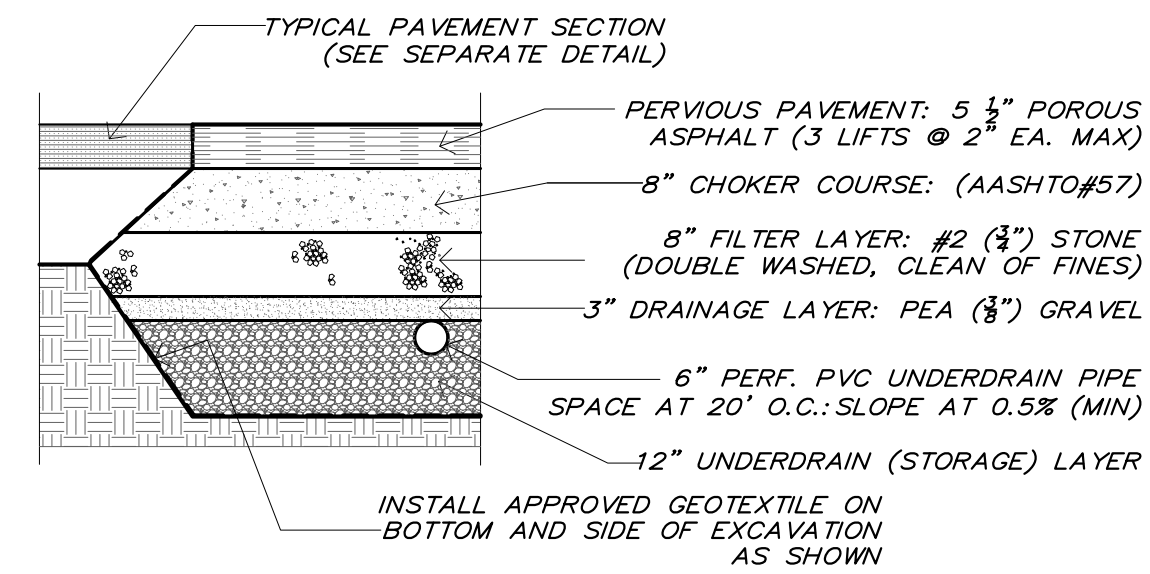
NOTES:

1. OBSERVATION WELL TO BE CONSTRUCTED OF 6" (MIN) SCH 40 PVC WITH SOLVENT WELDED JOINTS, AT LEAST THREE FEET (3') LONG, WITH A SOLVENT WELDED TEE FITTING AT BASE TO PREVENT ROTATION WHEN REMOVING PLUG IN PIPE CAP.
2. OBSERVATION WELLS SET IN NON-PAVED AREAS TO INCLUDE A COLLAR OF CAST-IN-PLACE, 4000 PSI CONCRETE.

C
SWP3

TYPICAL OBSERVATION WELL

SCALE: 1/2" = 1'

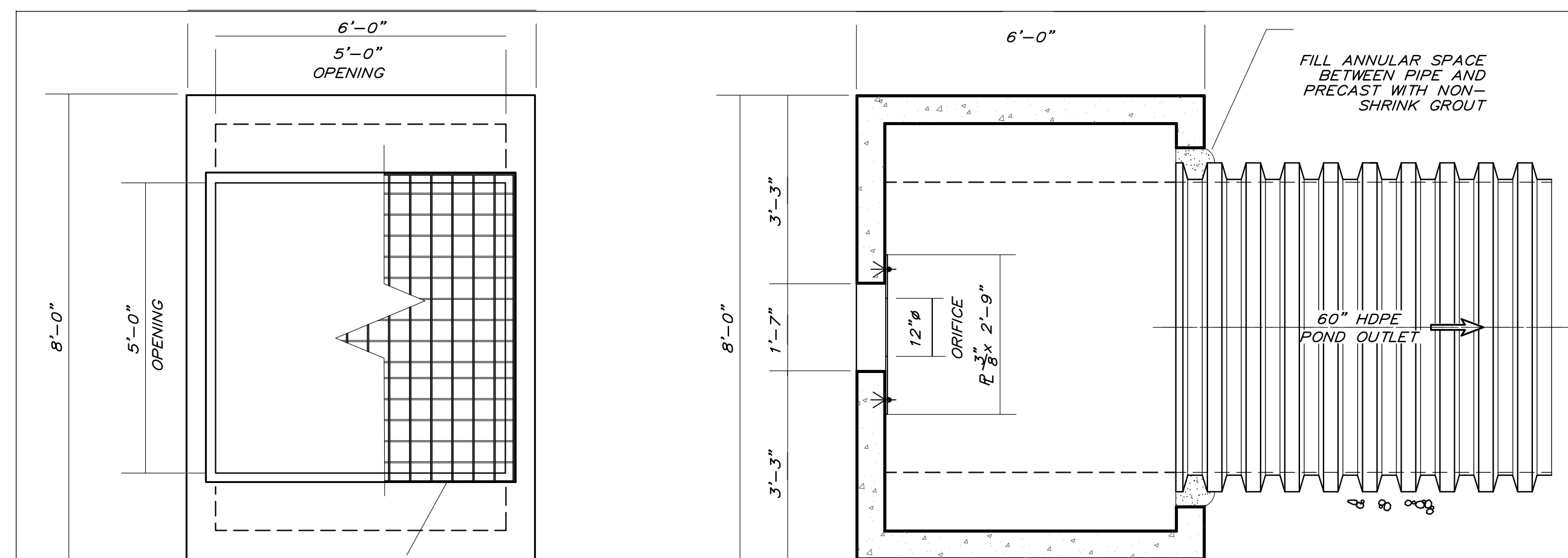


1. POROUS PAVEMENT SECTION SHALL BE INSTALLED TOWARDS THE END OF THE CONSTRUCTION PERIOD.
2. SUBSURFACE AREA SHALL BE EXCAVATED TO THE PROPOSED DEPTH, AND SUBGRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT LOADS PRIOR TO PLACEMENT OF GEOTEXTILE.
3. BOTTOM OF SECTION TO BE AT LEVEL GRADE.
4. PLACE GEOTEXTILE AND UNDERDRAIN AGGREGATE IMMEDIATELY AFTER APPROVAL OF THE SUBGRADE PREPARATION TO PREVENT ACCUMULATION OF DEBRIS OR SEDIMENT.
5. PREVENT SURFACE RUNOFF FROM ENTERING THE STORAGE (UNDERDRAIN) BED DURING PLACEMENT OF GEOTEXTILE AND AGGREGATE.

B
SWP3

TYPICAL POROUS PAVEMENT SECTION

SCALE: 1/2" = 1'-0"



ROOF SLAB PLAN

SCALE: 1/2" = 1'

GALVANIZED STEEL BAR GRATING
2 1/2" X 3 1/2" BEARING BARS
3/4" X 3/16" CROSS BARS

ORIFICE PLATE

SCALE: 1/2" = 1'

12 - 1/2" X 4" ANCHOR BOLTS
SPACED AT 9" O.C.
AS SHOWN

SECTION

SCALE: 1/2" = 1'

OUTLET STRUCTURE SHALL BE PRECAST CONCRETE HAVING A MIN. CONCRETE STRENGTH OF 4000 PSI AT 28 DAYS.

CONCRETE SHALL HAVE 4-6% ENTRAINED AIR.

REINFORCE WITH #4/ASTM A615 DEFORMED BARS (AS = 0.20 SQ. IN.)

PROVIDE BUTYL RUBBER SEALANT BETWEEN PRECAST JOINTS.

6" LAYER OF CRUSHED STONE OR CRUSHED GRAVEL BENEATH PRECAST

4" PERF. PIPE UNDERDRAIN IN CRUSHED GRAVEL

20" SUMP

INV. 419.0

INV. 419.0

10 YR STORM ELEV: 427.25

EXTREME FLOOD ELEV: 428.65

60" HDPE POND OUTLET

PRECAST CONCRETE ROOF SLAB

12" ORIFICE

5'-0" INSIDE

6'-0" TOP OF PRECAST 427.0 ELEV.

2 1/2" X 3 1/2" ANGLE FRAME AROUND TOP OF BASIN OPENING

6" 12" ORIFICE

6" 12" ORIFICE

6" 12" ORIFICE

6" 12" ORIFICE

6" 12" ORIFICE

6" 12" ORIFICE

6" 12" ORIFICE

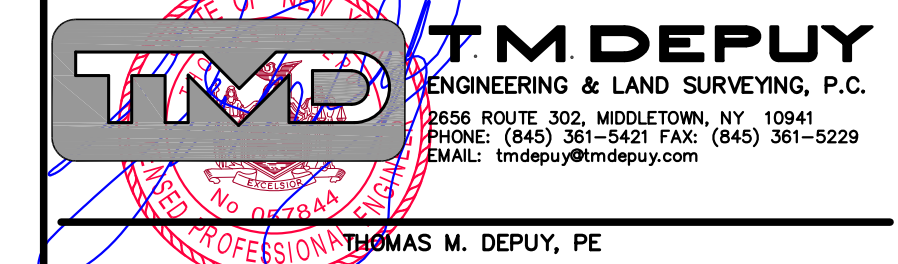
6" 12" ORIFICE

6" 12" ORIFICE

7/30/21	SUBMIT FOR SIGNATURE
1/9/20	MODIFIED POND OUTLET STRUCT.
1/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

262 GREENWICH AVENUE
GOSHEN NY, 10924
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1 POLICE DRIVE WAREHOUSE
VILLAGE OF GOSHEN

TAX MAP: SEC. 122, BLK. 1, LOT 102

GREEN INFRASTRUCTURE DETAILS

DRAWING TITLE:

Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 1209, subdivision 2 of the NY State Educational Law.

Scale:	Drawing No:	Project No:
AS NOTED	11 of 13	21508.01
CAD Reference:	D.C.H.D. Sheet No:	03007R
03008_SWP03	of	No. 3 of 5

1. CONTRACTORS SHALL TAKE NOTE THAT THEY ARE REQUIRED TO MAINTAIN A SAFE WORKING SITE, AND AT ALL TIMES, PROVIDE AND MAINTAIN CONSTRUCTION BARRIERS, FENCES, BARRICADES, LIGHTS AND WARNING SIGNS AS NEEDED TO INFORM AND PROTECT THE PUBLIC FROM INJURY DUE TO WORK ACTIVITIES ON THE SITE.
2. THE STORMWATER MANAGEMENT PRACTICES (SMP'S) SHOWN HEREON ARE CONSIDERED GREEN INFRASTRUCTURE AND ARE INTENDED TO CAPTURE RELATIVELY CLEAN STORMWATER RUNOFF FROM SPECIFIC AREAS OF THE PROJECT. THESE SMP'S ARE TO BE CONSTRUCTED AFTER THE MAJOR SITE DISTURBANCES HAVE BEEN COMPLETED, FINISH GRADES ESTABLISHED, AND EXPOSED SOIL STABILIZED WITH PERMANENT VEGETATION.
3. THE SOIL CONDITIONS ON THIS SITE ARE NOT WELL SUITED FOR INFILTRATION OF STORMWATER. CONSTRUCTION OF THE SMP'S SHOWN WILL INCLUDE THE ABILITY TO OVERFLOW TO A CONVEYANCE CHANNEL THAT WILL DIRECT SURPLUS RUNOFF WITHOUT CAUSING EXCESS EROSION.
4. THE PROPOSED STORMWATER PLANTERS ARE INTENDED TO MANAGE RELATIVELY SMALL QUANTITIES OF RUNOFF FROM THE PROPOSED BUILDING ROOF. RAIN WATER FROM ROOF LEADERS ADJACENT TO THE PROPOSED PLANTERS SHALL BE DIRECTED INTO THE PROPOSED PLANTER.

THE PROPERTY OWNER ACKNOWLEDGES RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT AND TREATMENT FACILITIES ASSOCIATED WITH THE DEVELOPMENT OF THIS SITE. FAILING TO OPERATE AND MAINTAIN SAID FACILITIES, THE OWNER ACCEPTS THAT, IN ACCORDANCE WITH NYSDEC REGULATIONS, THE MUNICIPALITY CAN ACCESS THE SITE AT ANY TIME TO PERFORM SUCH REQUIRED MAINTENANCE AND THE COST OF SUCH SERVICE TO BE ADDED TO THE MUNICIPAL TAX LEVY.



OUTLET STRUCTURE
SITE POND/INFILTRATION BASIN



GREEN INFRASTRUCTURE PLAN

$$1'' = 30'$$

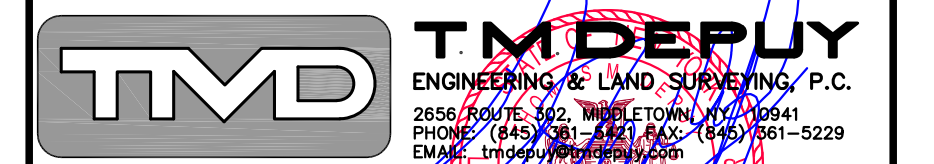
MARK	WIDTH (FT)	LENGTH (FT)	AREA (SF)	TOP OF WALL (ELEV.)
1	7.5	79	592.5	449.0
2	6	19	114.0	450.0
3	6	19	114.0	450.0
4	9	94	846.0	450.67
5	4.5	34.0	153.0	450.67
6	4.5	57.0	256.5	450.67

REFER TO SWPPP SHEET 3 OF 5 FOR DETAILS OF
THE STORMWATER PLANTER, POROUS PAVEMENT
AND SEDIMENT FOREBAY CONSTRUCTION

7/30/21	SUBMIT FOR SIGNATURE
1/09/20	SITE POND REFERENCE
7/10/2018	MAY 15 REVIEW RESPONSE
7/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

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THOMAS M. DEPUY, PE

1 POLICE DRIVE WAREHOUSE
VILLAGE OF GOSHEN

TAX MAP: SEC. 122, BLK. 1, LOT 10.2

GREEN INFRASTRUCTURE PLAN

DRAWING TITLE:

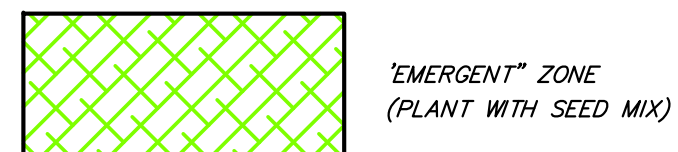
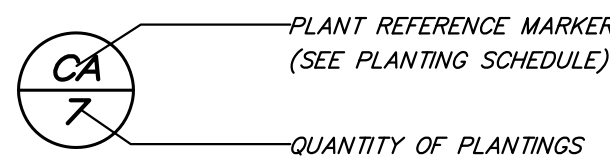
Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's or Professional Engineer's seal is a violation of section 7209, subdivision 2 of the NY State Educational Law.

Scale: 1" = 30'	Drawing No.: 12 of 13	Project No.: 21508.01 03007R
CAD Reference: 03008_SWP03	D.C.H.P. Sheet No.: of	SWPPP Sheet No.: 4 of 5

PLANTING SCHEDULE

PLANT TYPE	SPRING PLANTING	FALL PLANTING
CONIF.	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DEC.	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1
HERBACEOUS	MARCH 1 - JUNE 30	SEPT 1 - OCT. 15

KEY



LANDS OF
KW & DW PROPERTIES
9 POLICE DRIVE
SEC. 13 BLK. 1 LOT 72.2
F.F. ELEV. 432.0

SEDIMENT FOREBAY
BOT. ±428
VOL. @ 430 = 0.69 AC FT

DOSING
PUMP
STATION

SEPTIC
TANK

POND/WETLAND PLANTING SCHEDULE

SYMBOL	QTY	COMMON NAME	FORM	SIZE/CALIPER	REMARKS
TREES AND SHRUBS					
CB	10	RED CHOKEBERRY (ARONIA ARBUTIFOLIA)	DEC. SHRUB	18"-24" HGT	BALLED AND BURLAP (B & B)
SS	6	SHADBLow SERICEBERRY (AMELANCHIER CANADENSIS)	DEC. SHRUB	18"-24" HGT.	BALLED AND BURLAP (B & B)
WB	20	WINTERBERRY (ILEX VERTICILLATA)	DEC. SHRUB	18"-24" HGT.	B & B
HERBACEOUS PLANTS					
DU	50	DUCKWEED (LEMNA SP.)	SUBMERGENT/ EMERGENT	BARE ROOT (BR)	CLUMPS OF FIVE (C5)
PW	60	LONG-LEAVED POND WEED (POTAMOGETON NODOSUS)	ROOTED SUBMERGED AQUATIC	BR	C5
SD	50	SPATTERDOCK (NUPHAR LUTEUM)	EMERGENT	BR	SPACE AT 10 FT ON CENTER
WW	30	WATERWEED (ELODEA CANADENSIS)	SUBMERGENT	BR	BALLED AND BURLAP
SEED					
PERCENT BY # OF SEEDS	COMMON NAME	SCIENTIFIC NAME	REMARKS		
63.0 %	CREeping BENTGRASS	ARGROSTIS STOLONIFERS	"NORTHEAST WETLAND DIVERSITY SEED MIX" AVAILABLE FROM : SOUTHERN TIER CONSULTING WEST CLARKSVILLE, NY 14786 APPLIED TO POND EMERGENT ZONE (AREA BETWEEN POND NORMAL WATER LEVEL, ACROSS BERM TO FENCELINE OR AS ORDERED BY ENGINEER) SEED MIX TO BE APPLIED AT 1 LB PER POND (OR 2 1/2 LBS PER ACRE BASED ON AREA)		
17.0 %	ROUGH BLUEGRASS	POA TRIVIALIS			
11.0 %	MEADOW FOXTAIL	ALOPECURUS ARUNDINACEUS			
4.5 %	ANNUAL RYEGRASS	LOLIUM MULTIFLORUM			
4.5 %	DEERTONGUE	PANICUM CLANDESTINUM			
BR - BARE ROOT			C5 - CLUMPS OF 5		
			OC - ON CENTER		

1/30/21	SUBMIT FOR SIGNATURE
1/09/20	MISC. CORRECTIONS
11/21/19	UPDATE POND IMPROVEMENTS
1/20/2018	REV POND-HIGH TENSION STRUCT - BUILDING ADD'N
1/10/2018	Date of Origin
Date	Description

ESPOSITO & ASSOCIATES

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THOMAS W. DEFLY

1 POLICE DRIVE HOUSE
VILLAGE OF GOSHEN

TAX MAP: SEC. 122, BLK. 1, LOT 10.2

STORMWATER POND
IMPROVEMENT PLAN AND
DETAILS

Unauthorized alteration or addition to a plan bearing a Licensed Land Surveyor's
or Professional Engineer's seal is a violation of section 7209, subdivision 2 of
the NY State Educational Law.

Scale:	Drawing No.:	Project No.:
1" = 30'	13 of 13	21508.01
CAD Reference:	D.C.H.D. Sheet No.:	SWPPP Sheet No.:
03008_SWP03	of	5 of 5

STORMWATER POND IMPROVEMENTS

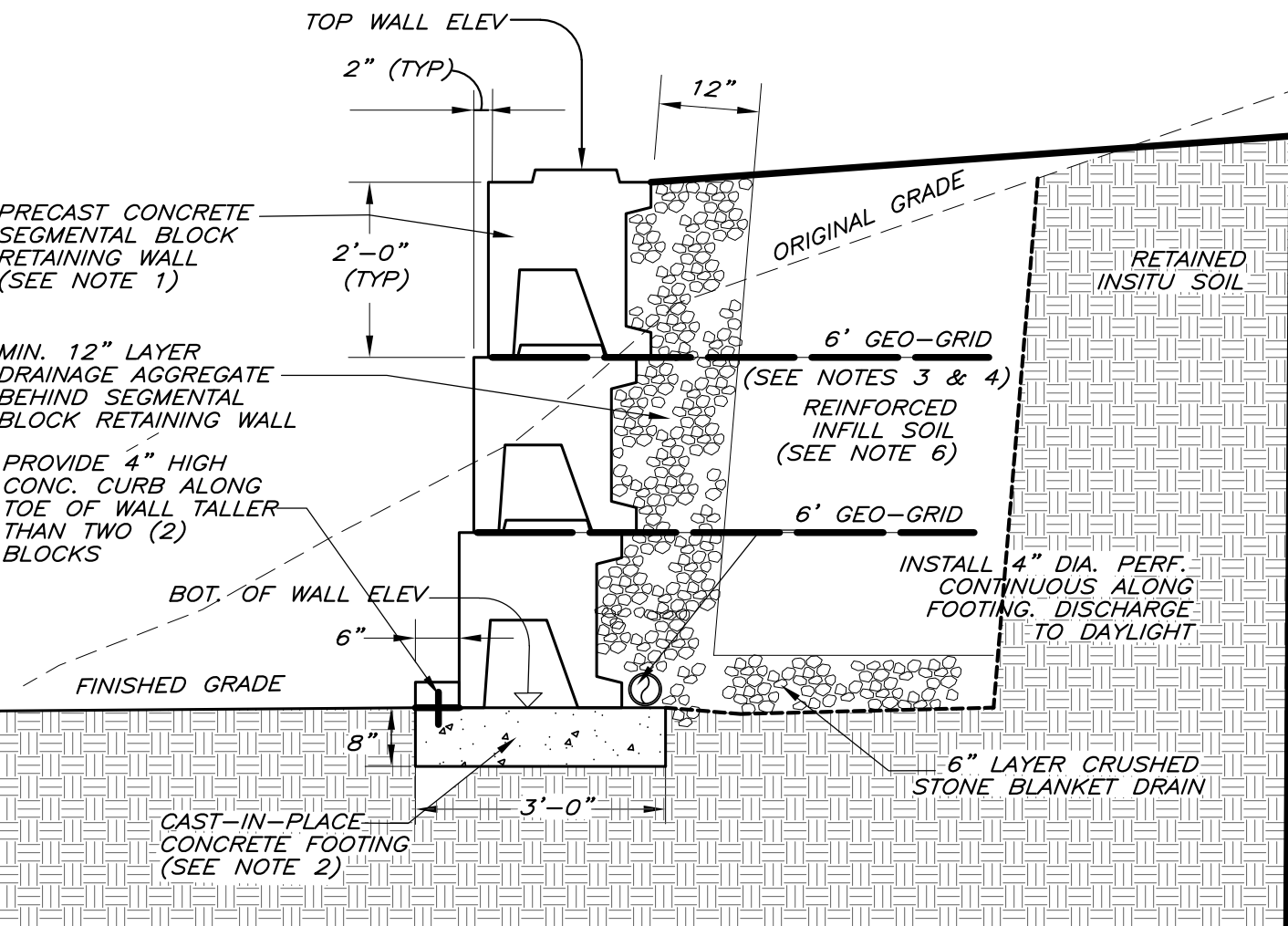
STORMWATER POND IMPROVEMENTS SHOWN HEREON ARE INTENDED TO PROVIDE THE NECESSARY VOLUME TO CAPTURE THE INCREASED RUNOFF GENERATED BY THE SITE IMPROVEMENTS ON THREE (3) SEPARATE PROPERTIES. TAX PARCELS 121-1-1.32, 122-1-10.2 AND 122-1-11 CONTRIBUTE TO THIS VOLUME. THESE PROPERTIES TO EXECUTE A STORMWATER MANAGEMENT AGREEMENT THAT INCLUDES THE VILLAGE OF GOSHEN.

RETAINING WALL GENERAL NOTES AND OUTLINE SPECIFICATIONS

- RETAINING WALL BLOCKS SHALL BE NOM. 2 FT X 2 FT X 4'-0" LONG PRECAST CONCRETE RETAINING WALL BLOCK AS MANUFACTURED BY WOODWARD CONCRETE PRODUCTS FOR SEGMENTAL RETAINING WALLS.
- CAST IN PLACE CONCRETE FOOTING SHALL BE CONSTRUCTED OF MIN. 3000 PSI CONCRETE. FOOTING SHALL BE PLACED ON UNDISTURBED SUBGRADE, TRUE TO LINE AND GRADE SHOWN HEREON.
- SOIL REINFORCEMENT GEO-GRID SHALL BE MIRAFI "MIRAGRID 5XT" GEOSYNTHETIC FOR SEGMENTAL RETAINING WALLS. EMBEDMENT LENGTH VARIES WITH HEIGHT (SEE PLANS.)
- ORIENTATION AND PROPER PLACEMENT OF GEO-GRID IS CRITICAL TO THE STABILITY OF THE STRUCTURE. INSTALL GEO-GRID SUCH THAT DIRECTION OF TENSILE STRENGTH IS PERPENDICULAR TO WALL FACE. FOLLOW MIRAFI GUIDELINES FOR PLACING GEO-GRID FLAT, FREE OF WRINKLES.
- DRAINAGE AGGREGATE TO BE CLEAN, CRUSHED STONE OR CRUSHED GRAVEL, 1" OR LESS MEETING THE FOLLOWING GRADATION:

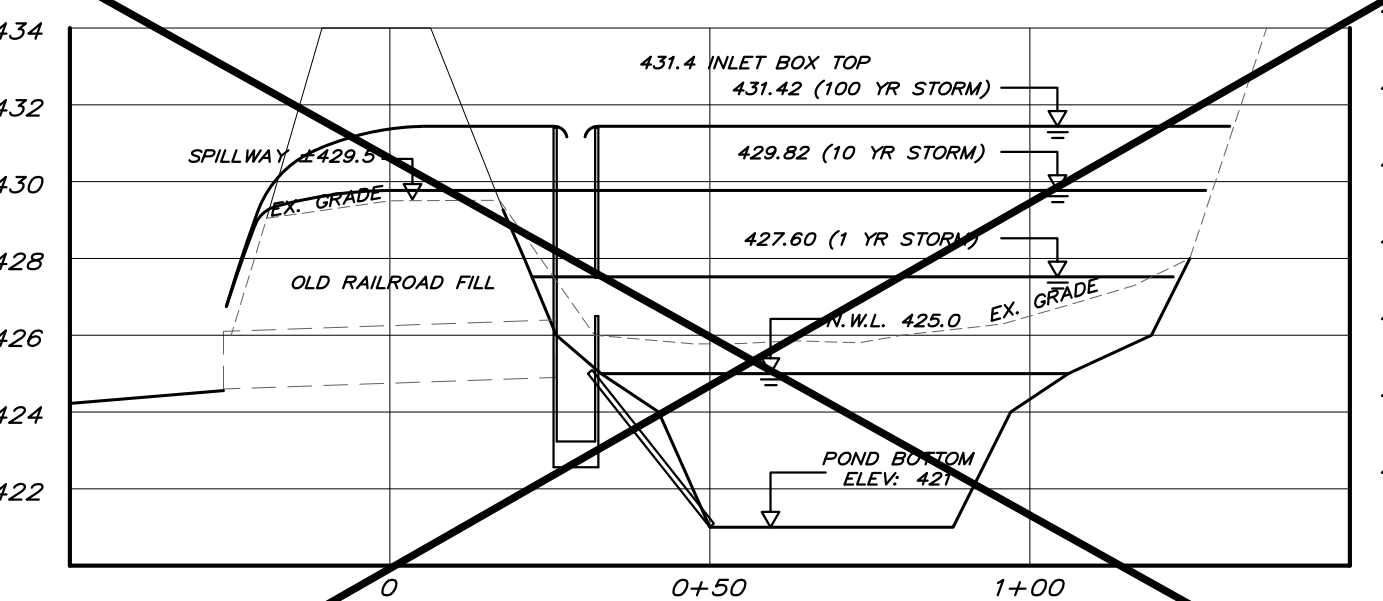
SIEVE SIZE	PERCENT PASSING
3/4"	100
#40	75-100
#200	0-60
	0-50
	0-5

- REINFORCED BACKFILL SOIL SHALL BE A WELL GRADED BANK-RUN GRAVEL, SANDY GRAVEL OR GRAVELY SAND WITH A MAXIMUM STONE SIZE OF 3/4", MEETING THE FOLLOWING GRADATION:
- UNDERDRAIN PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PERFORATED, CORRUGATED PIPE AND FITTINGS EQUAL TO ADVANCED DRAINAGE SYSTEMS, INC (ADS) OR HANCOCK HEAVY DUTY TUBING.
- RETAINING WALL BACKFILL TO BE PLACED IN MAX. 8" LIFTS, COMPACTED TO 95% OF MAXIMUM PROCTOR DENSITY (ASTM D698)



RETAINING WALL SECTION

SCALE: 1/2" = 1'-0"



SECTION THRU POND AT SPILLWAY

SCALE: HORIZ: 1" = 30'

VERT: 1" = 5'