

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

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- OUTBOUND & TOPOGRAPHIC PLAN OF SURVEY, DATED 12/20/2020
CLEARPOND SERVICES LLC
640 HERMAN ROAD UNIT 1
JACKSON, NJ 08527
SURRENDER FILE NO. 20-33223
2. APPLICANT: 37 BURNT TOWNEN ROAD,
1 INTERNATIONAL TELECOM, SUITE 410
MANHATTAN, NY 10745
3. OWNER: MSP, LLC
802 CARLETON CIRCLE, 400
PRINCETON, NJ 08540
- PRK SC, LLC
802 CARLETON CIRCLE, 400
PRINCETON, NJ 08540
4. PARCEL DATA: BLOCK 57, LOT 17.02 & 17.03
EASTERN OF MILLSTONE
MOUNTAIN COUNTRY, NEW JERSEY
5. ZONE: ZONE BP (BUSINESS PARK ZONE)
6. EXISTING USE: UNDEVELOPED LAND
7. PROPOSED USE: WAREHOUSE (PERMITTED USE) (§ 35-5-13.1A)
8. SCHEDULE OF ZONING REQUIREMENTS (§ 35-5-13.4A)

ZONE REQUIREMENT	ZONE RP	EXISTING	PROPOSED
MINIMUM LOT AREA	130,000 SF (2.98 Ac)	473,843 SF (10.88 Ac)	473,843 SF (10.88 Ac)
MINIMUM LOT WIDTH	250 FT	729.9 FT	729.9 FT
MINIMUM LOT FRONTAGE	250 FT	722.13 FT	722.13 FT
MINIMUM FRONT YARD SETBACK	75 FT	N/A	92.0 FT
MINIMUM SIDE YARD SETBACK	50 FT	N/A	50.0 FT
MINIMUM CORNERED SIDE YARD SETBACK	125 FT	N/A	303.3 FT
MINIMUM REAR YARD SETBACK	100 FT	N/A	100.0 FT
MAXIMUM BUILDING HEIGHT	40 FT / 3 STORES	N/A	< 40 FT / 3 STORES
MINIMUM SIDE YARD SETBACK (ACCESSORY STRUCTURE)	40 FT	N/A	222.7 FT
MINIMUM REAR YARD SETBACK (ACCESSORY STRUCTURE)	75 FT	N/A	99.8 FT
MAXIMUM BUILDING HEIGHT (ACCESSORY STRUCTURE)	16 FT	N/A	< 16 FT
MAXIMUM LOT COVERAGE	70%	0.06% (272 SF)	54.9% (260,398 SF)
MAXIMUM BUILDING COVERAGE	40%	N/A	31.3% (148,361 SF)
N/S: NO STANDARD (E): EXISTING NON-CONFORMANCE (V): VARIANCE			

9. PARKING REQUIREMENTS
- A. THE PADDED SURFACES OF ALL LOADING AREAS AND ALL PARKING AREAS FOR 10 OR MORE VEHICLES SHALL BE PROVIDED WITH CURBING TO PRECLUDE DRIVING OR PARKING ON LAWN OR LANDSCAPED AREAS, SUCH CURBING SHALL BE POURED CONCRETE OR BELIAN BLOCK AND CONSTRUCTED IN A MANNER APPROVED BY THE TOWNSHIP ENGINEER. (§ 35-7-2.4)
- B. OFF-STREET PARKING AND LOADING AREAS MAY BE LOCATED IN A REQUIRED HARDY AREA BUT SHALL NOT BE WITHIN 20 FEET OF A STREET LINE. (§ 35-7-2.4)
- C. AT LEAST ONE TREE SHALL BE PLANTED FOR EVERY 30 SQUARE FEET OF THE PARKING LOT. (§ 35-7-2.4)
- D. INDIVIDUAL PARKING SPACES SHALL MEASURE NOT LESS THAN NINE FEET BY 18 FEET. (§ 35-7-3.1)
- E. WAREHOUSES SHALL REQUIRE A MINIMUM OF ONE (1) PARKING SPACE FOR 5,000 SQUARE FEET OF GROSS FLOOR AREA. (§ 35-7-3.5)

PARKING CALCULATION:	
(148,361 SF)*(1 PARKING SPACES/5,000 SF)	= 29.7 SPACES
SPACES REQUIRED	= 30 SPACES
SPACES PROPOSED	= 97 SPACES (COMPLIES)

- F. PARKING AREAS SHALL PROVIDE ISLANDS AT ENDS OF ALL PARKING ROWS OR BAYS. THESE ISLANDS SHALL BE A MINIMUM OF NINE FEET IN WIDTH, INCLUDING THE CURB WIDTH. (§ 35-11-14.6A)
G. LARGE PARKING LOTS SHALL BE SUBDIVIDED INTO MODULES OF 30 CONTIGUOUS STALLS WITH ISLANDS, ROWS NOT EXCEEDING 20 CONTIGUOUS STALLS. SEPARATION OF MODULES SHOULD BE ACHIEVED BY A LANDSCAPE BUFFER STRIP AREA AT LEAST 10 FEET IN WIDTH, INTEGRATING PEDESTRIAN CIRCULATION AND/OR STORMWATER QUALITY SWALES INTO THESE STRIPS IS PERMITTED, BUT THE MINIMUM WIDTH SHALL BE 15 FEET TO ENABLE THE PLANTING OF TREES. (§ 35-11-14.8B)
H. PARKING AREAS SHALL BE SEPARATED FROM INTERIOR DRIVES USING EVERGREEN, DECIDUOUS/FLOWERING TREES AND SHRUBS TO CREATE A CONTINUOUS LANDSCAPE STRIP AT LEAST 10 FEET IN WIDTH. CONSIDER INTEGRATION OF PEDESTRIAN WALKWAYS WITH THESE STRIPS. IF WALKS OR STORMWATER SWALES ARE INCORPORATED INTO THESE ISLANDS, THE MINIMUM WIDTH SHALL BE 15 FEET.

10. **LOADING REQUIREMENTS**
- A. INDIVIDUAL LOADING STALLS SHALL MEASURE NOT LESS THAN 12 FEET BY 45 FEET AND HAVE AN UNOBSTRUCTED HEIGHT OF 14 FEET. (S. 35-7-4.1)
 - B. ALL LOADING SPACES SHALL HAVE UNOBTURCATED ACCESS FROM A TURNING AREA, INCLUDING DRIVEWAY AREA OF NOT LESS THAN 45 FEET IN WIDTH. (S. 35-7-4.2)
 - C. NO LOADING SPACE OR MANEUVERING SPACE SHALL BE LOCATED IN A FRONT YARD NOR REQUIRE USE OF A PUBLIC STREET. (S. 35-7-4.3)
 - D. LOADING STALLS SHALL BE LOCATED TO PROPERLY SERVE THE BUILDING FOR WHICH THEY ARE PROVIDED. (S. 35-7-4.4)
 - E. WAREHOUSES SHALL REQUIRE A MINIMUM OF ONE (1) LOADING SPACE FOR THE FIRST 5,000 SQUARE FEET OF GROSS FLOOR AREA AND ONE (1) SPACE FOR EACH ADDITIONAL 10,000 SQUARE FEET OF GROSS FLOOR AREA. (S. 35-7-4.5)

LOADING CALCULATION:

$(5,000 \text{ SF}) * (1 \text{ LOADING SPACE} / 5,000 \text{ SF})$	=	1 SPACE
$(143,361 \text{ SF}) * (1 \text{ LOADING SPACE} / 10,000 \text{ SF})$	=	14.3 SPACES
SPACES REQUIRED	=	16 SPACES
SPACES PROPOSED	=	16 SPACES (COMPLES)

11. DRIVEWAY REQUIREMENTS
- A. ALL NINETY-DEGREE PARKING SPACES SHALL HAVE UNENCUMBERED ACCESS TO AN AISLE WITH A MINIMUM WIDTH OF 25 FEET FOR TWO-WAY TRAFFIC. (§ 35-7-3.2)

- B. BUFFER REQUIREMENTS:**
- SCREENING PLANTINGS SHALL BE REQUIRED ALONG THE PERIMETER OF PARKING AREAS AND WHERE INTERIOR ROADS RUN PARALLEL WITH OTHER ROADS, PARKING AREAS, OR THE PERIMETER OF A SITE. SCREENING PLANTINGS SHALL BE REQUIRED TO SCREEN ADJACENT PROPERTIES FROM VIEW OF SIGHTING OBSTRUCTIONS AND AVOID CONFLICTS. THESE AREAS SHALL PROVIDE A LANDSCAPE BUFFER AREA OF 75 FEET WITH BOTH ROWS PRESERVING EXISTING TREES WITHIN THE LANDSCAPE BUFFER AREA. EXISTING TREES THAT ARE NOT IDENTICAL TO THE LANDSCAPE SCHEME SHALL BE SUPPLEMENTED WITH NEW UNDERSTORY PLANTINGS OF SHADE-TOLERANT CONFERS AND FLOWERING TREES IN NATURALISTIC GROUPINGS. (R 35-11-14.7.C.1.)
- IN AREAS VOID OF EXISTING VEGETATION, PLANTING GENTLE BUNDLES WITH MIXTURES AND GROUPINGS OF EVERGREEN, SHADE AND FLOWERING TREES, AND SHRUBS. THE PLANTING SHALL BE PREDOMINANTLY COMPOSED OF SHADE TOLERANT SPECIES. VIEW OF PARKING CARS SHALL BE BUFFERED. SHRUBS USED TO SCREEN WINDSHIELD GLASS SHALL BE SPACED A MINIMUM OF TWO FEET ON-CENTER AS A DOUBLE ROW. (R 35-11-14.7.C.2.)
- THE LANDSCAPE DESIGNER SHALL PROVIDE SPACE FOR PARKING AREAS, WITH EVERGREEN AND FLOWERING TREES OR SHRUBS TO SCREEN NOISY AREAS AND EMPHASIZE APPROACH OF VIEWS.

- D. IF A TWENTY-FIVE-FOOT LANDSCAPE STRIP CANNOT BE PROVIDED, THEN A ROW OF EVERGREEN TREES, SHRUBS OR A COMBINATION OF A LOW WALL AND BERM WITH PLANTINGS MAY BE REQUIRED BY THE PLANNING BOARD OR ZONING BOARD, AS THE CASE MAY BE. (S 35-11-14.2.C.D)
- E. ANY PARKING AREA OR LOADING AREA IN A FRONT YARD OR WITHIN CLEAR VIEW FROM THE PUBLIC RIGHT-OF-WAY OR FOR A RESIDENTIAL ZONING DISTRICT SHALL BE BUFFERED BY A LANDSCAPE PLANTING AREA. (S 35-11-14.8.D)

13. FENCE REQUIREMENTS
- A. ALL FENCES SHALL BE ERRECTED WITHIN THE PROPERTY LINES OF THE SUBJECT PROPERTY AND SHALL NOT ENCRGOACH ONTO ANY ADJACENT STREET RIGHT-OF-WAY OR ONTO ANY OTHER ADJACENT PROPERTY. (§ 35-4-9.12A)
- B. NO FENCE SHALL BE ERRECTED WITH BARBED WIRE OR ELECTRIFIED WIRE, TOPPED WITH METAL SPIKES, OR CONSTRUCTED IN ANY MANNER WHICH MAY BE DANGEROUS TO PERSONS OR ANIMALS. (§ 35-4-9.12C)
- C. NO FENCE SHALL BE ERRECTED OR ALTERED SO THAT SAID FENCE IS HIGHER THAN SIX FEET IN SIDE AND REAR YARD AREAS AND FOUR FEET IN FRONT YARD AREAS, PROVIDED THAT ALL FENCING IN FRONT YARD AREAS SHALL BE AT LEAST 50% OPEN, BUT SHALL NOT BE CONSTRUCTED OF CHAIN-LINK. (§ 35-4-9.12D)

15. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.

16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.

17. THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOT OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.

18. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.

20. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECT ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

21. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

23. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

24. ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES CHOSEN TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO COVER ALL HARMLESS AND INDEMNIFY CLAIMS ASSUMED BY THE CONTRACTOR. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS WITH CERTIFICATES OF INSURANCE TO THE EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON REPLENISHMENT OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS MUST, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

29. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBSIDIARIES AT A CONSTRUCTION PROJECT SITE, SHALL CONSTITUTE AN ADOPTION OF THE REGULATORY AGENCIES' REGULATIONS OR REQUIREMENTS. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE REQUIRED TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JUSTICE SAFETY, DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

26. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR ONLY TAKE THE APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHEN THE CONTRACTOR IS REQUIRED TO SUBMIT BUT ONLY FOR THE LIMITED PURPOSES OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONTRACT AND THE INFORMATION SHOWN ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SELECTION, PREPARATION, AND SUBMITTAL OF ALL SUBMITTALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SELECTION OF MATERIALS, METHODS, OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SITE PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS' REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS ARE REVIEWING THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS SHALL NOT BE RESPONSIBLE FOR OMISSIONS AND DERIVATIONS FROM THE CONTRACT DOCUMENTS. DYNAMIC ENGINEERING CONSULTANTS' REVIEW OF THE CONTRACTOR'S SUBMITTALS SHALL BE LIMITED TO THE CONTRACT DOCUMENTS. DYNAMIC ENGINEERING CONSULTANTS SHALL BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

27. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.

28. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.

29. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY COSTS FOR DAMAGES, RESPECT THERETO AND SHALL BE RESPONSIBLE AND SHALL BE HELD HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

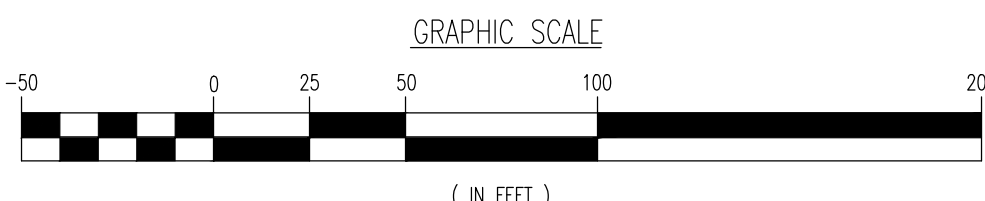
30. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.

31. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL,

32. ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.

33. CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.

54. CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS, DEPICTED HEREON MAY NOT BE CONFORMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE ENGINEER RECOMMENDS PARKING SPACES AND THE ACCESS TO THEM BE LOCATED IMMEDIATELY ADJACENT TO THE ENTRANCE. THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST ACCESSIBLE ROUTE MUST COMPLY WITH NATIONAL AND LOCAL CODES. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY IF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

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