BULK REQUIREMENTS

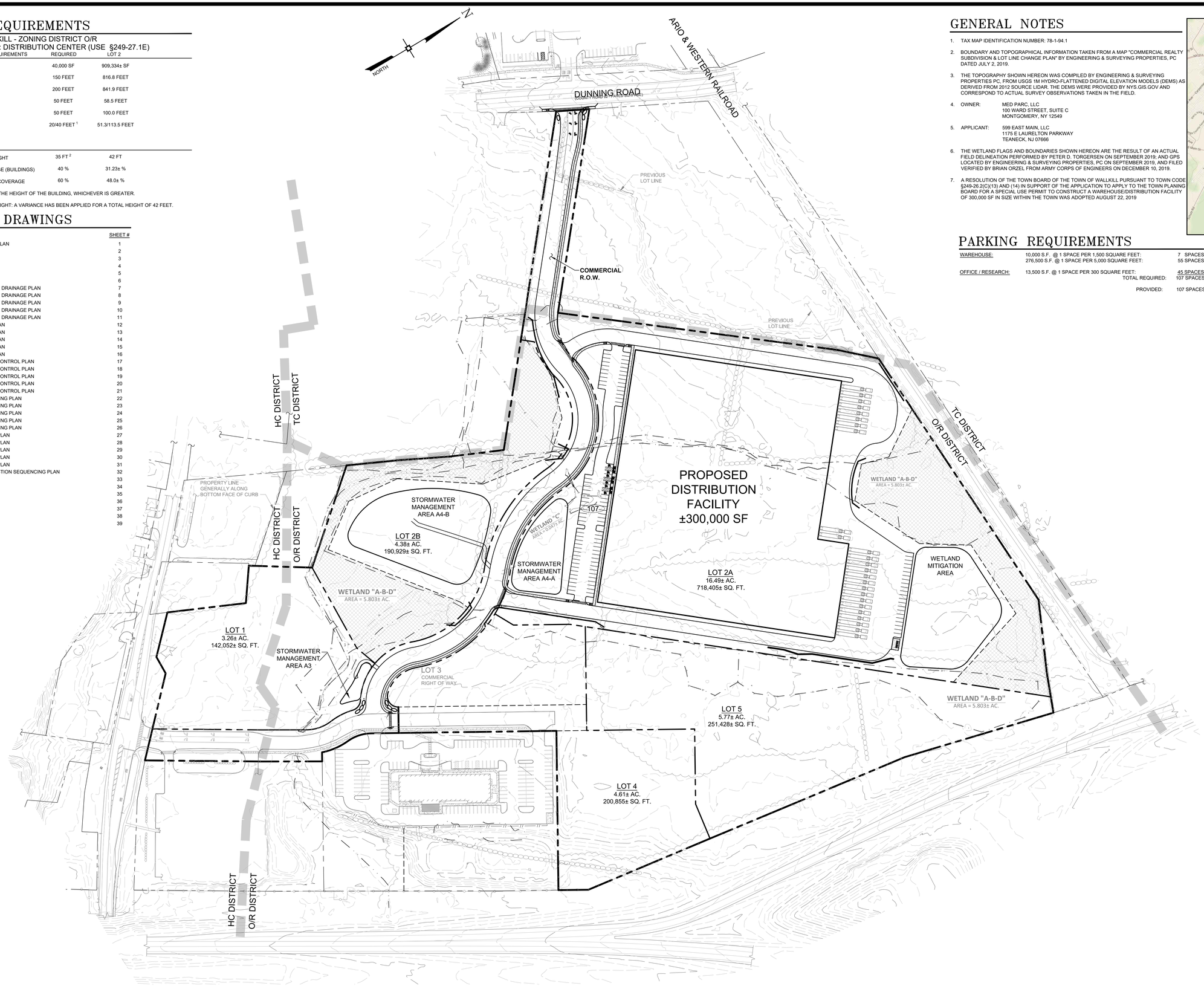
TOWN OF WALLKILL - ZONING DISTRICT O/R
PROPOSED USE: DISTRIBUTION CENTER (USE §249-27.1E)

MINIMUM BUILDING REQUIREMENTS	REQUIRED	LOT 2
LOT AREA	40,000 SF	909,334± SF
LOT WIDTH	150 FEET	816.8 FEET
LOT DEPTH	200 FEET	841.9 FEET
FRONT YARD	50 FEET	58.5 FEET
REAR YARD	50 FEET	100.0 FEET
SIDE YARD (ONE/BOTH)	20/40 FEET [1]	51.3/113.5 FEET
MAXIMUM ALLOWABLE		
MAXIMUM BUILDING HEIGHT	35 FT [2]	42 FT
MAXIMUM LOT COVERAGE (BUILDINGS)	40 %	31.23± %
MAXIMUM IMPERVIOUS COVERAGE	60 %	48.0± %

[1] 20 FEET OR EQUAL TO THE HEIGHT OF THE BUILDING, WHICHEVER IS GREATER.

[2] MAXIMUM BUILDING HEIGHT: A VARIANCE HAS BEEN APPLIED FOR A TOTAL HEIGHT OF 42 FEET.

LIST OF DRAWINGS

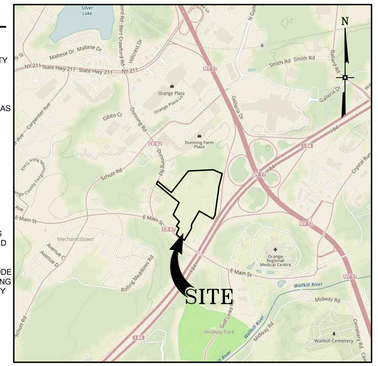


GENERAL NOTES

1. TAX MAP IDENTIFICATION NUMBER: 78-1-94.1
2. BOUNDARY AND TOPOGRAPHICAL INFORMATION TAKEN FROM A MAP "COMMERCIAL REALTY SUBDIVISION & LOT LINE CHANGE PLAN" BY ENGINEERING & SURVEYING PROPERTIES, PC DATED JULY 2, 2019.
3. THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC, FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS.GIS.GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD.
4. OWNER: MED PARC, LLC
   100 WARD STREET, SUITE C
   MONTGOMERY, NY 12549
5. APPLICANT: 599 EAST MAIN, LLC
   1175 E LAURELTON PARKWAY
   TEANECK, NJ 07666
6. THE WETLAND FLAGS AND BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD DELINEATION PERFORMED BY PETER D. TORGERSEN ON SEPTEMBER 2019; AND GPS LOCATED BY ENGINEERING & SURVEYING PROPERTIES, PC ON SEPTEMBER 2019, AND FILED VERIFIED BY BRIAN ORZEL FROM ARMY CORPS OF ENGINEERS ON DECEMBER 10, 2019.
7. A RESOLUTION OF THE TOWN BOARD OF THE TOWN OF WALLKILL PURSUANT TO TOWN CODE §249-26.2(C)(13) AND (14) IN SUPPORT OF THE APPLICATION TO APPLY TO THE TOWN PLANING BOARD FOR A SPECIAL USE PERMIT TO CONSTRUCT A WAREHOUSE/DISTRIBUTION FACILITY OF 300,000 SF IN SIZE WITHIN THE TOWN WAS ADOPTED AUGUST 22, 2019

PARKING REQUIREMENTS

WAREHOUSE:	10,000 S.F. @ 1 SPACE PER 1,500 SQUARE FEET:	7 SPACES
	276,500 S.F. @ 1 SPACE PER 5,000 SQUARE FEET:	55 SPACES
OFFICE / RESEARCH:	13,500 S.F. @ 1 SPACE PER 300 SQUARE FEET:	45 SPACES
	TOTAL REQUIRED:	107 SPACES
	PROVIDED:	107 SPACES



LOCATION MAP

SCALE: 1"=2000'

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	1	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

100 0 50 100 200

1 inch = 100 ft.

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OVERALL SITE PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-100
DATE: 01/06/20	SCALE: 1"=100'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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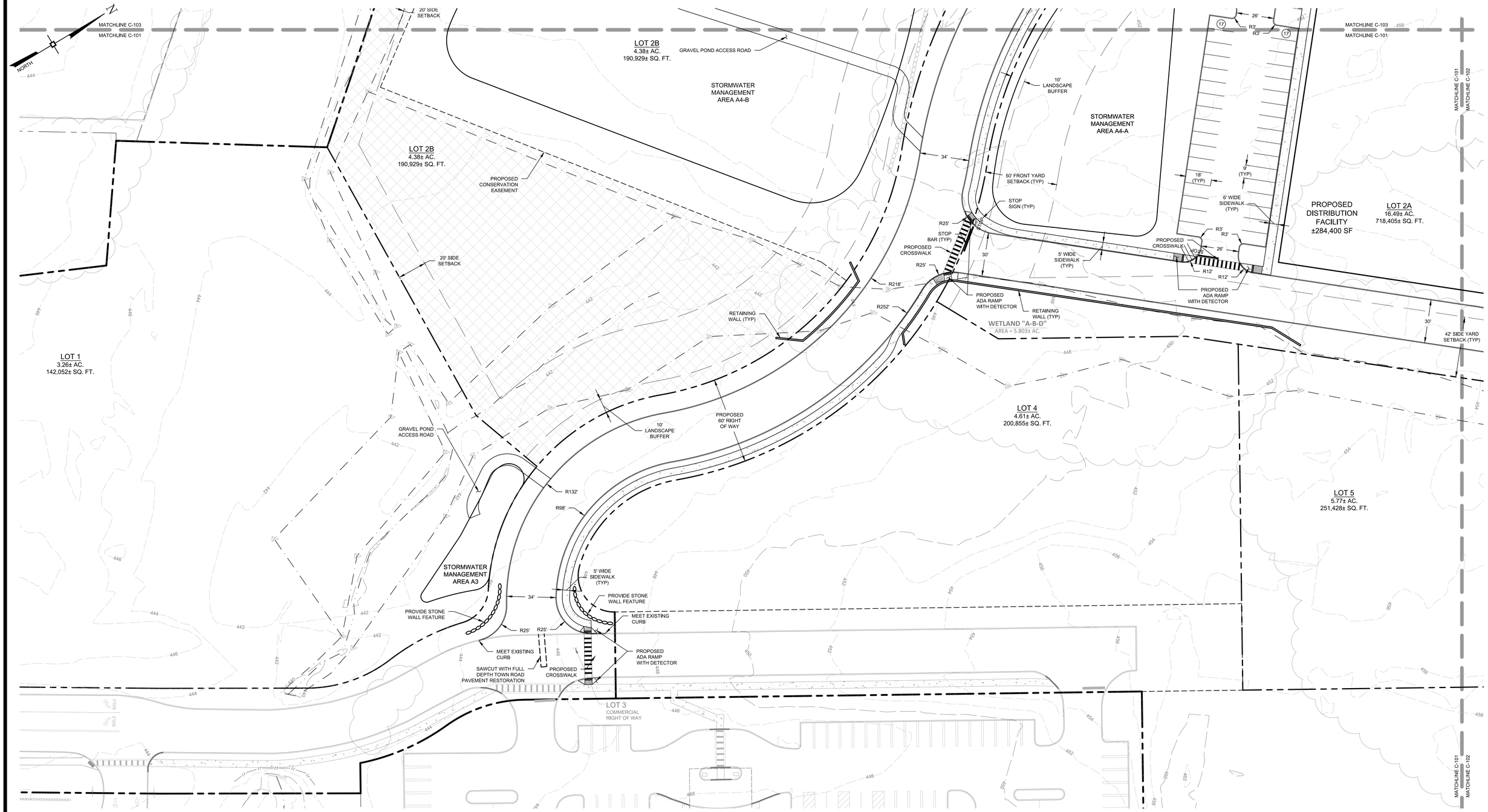
Date Printed: Jun 05, 2020, 11:05am



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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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30 0 15 30 60
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SITE PLAN

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599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS		C-101
DATE: 01/06/20	SCALE: 1"=30'		
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1		

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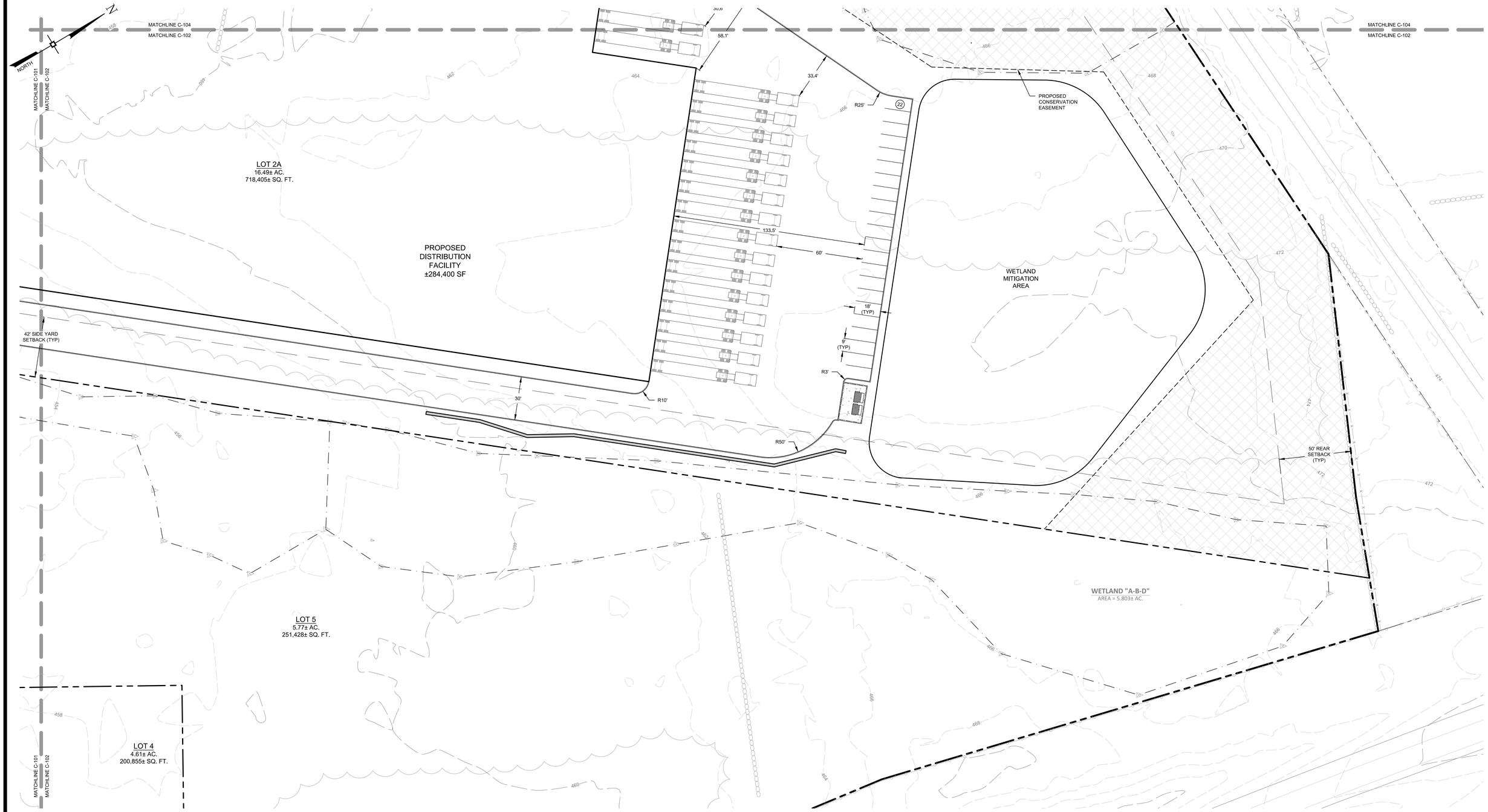

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JOB #:	DRAWN BY:	
980.1504	JS	C-102
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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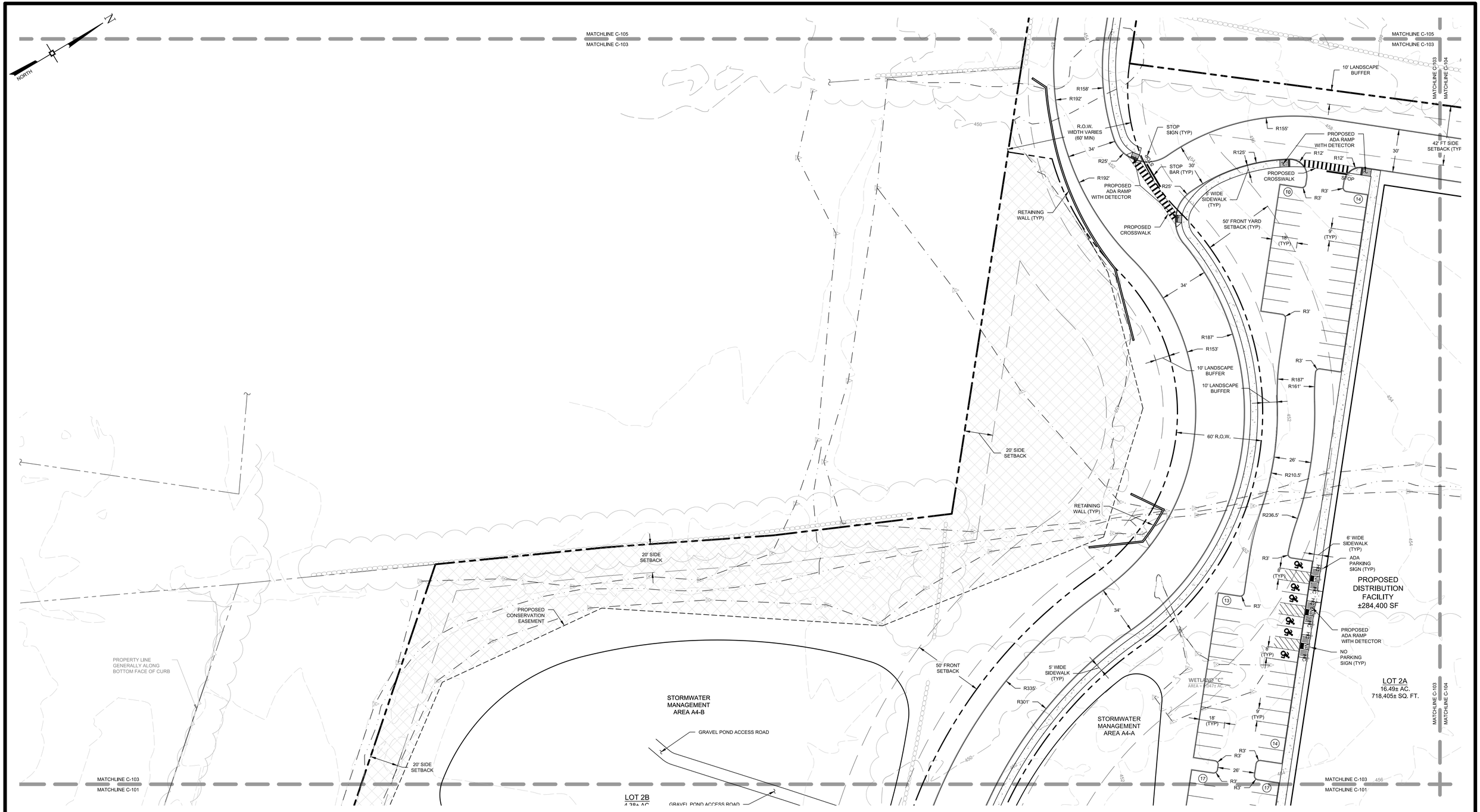

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☐ FOR BID	N/A	OF	N/A
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JOB #:	DRAWN BY:	
980.1504	JS	C-103
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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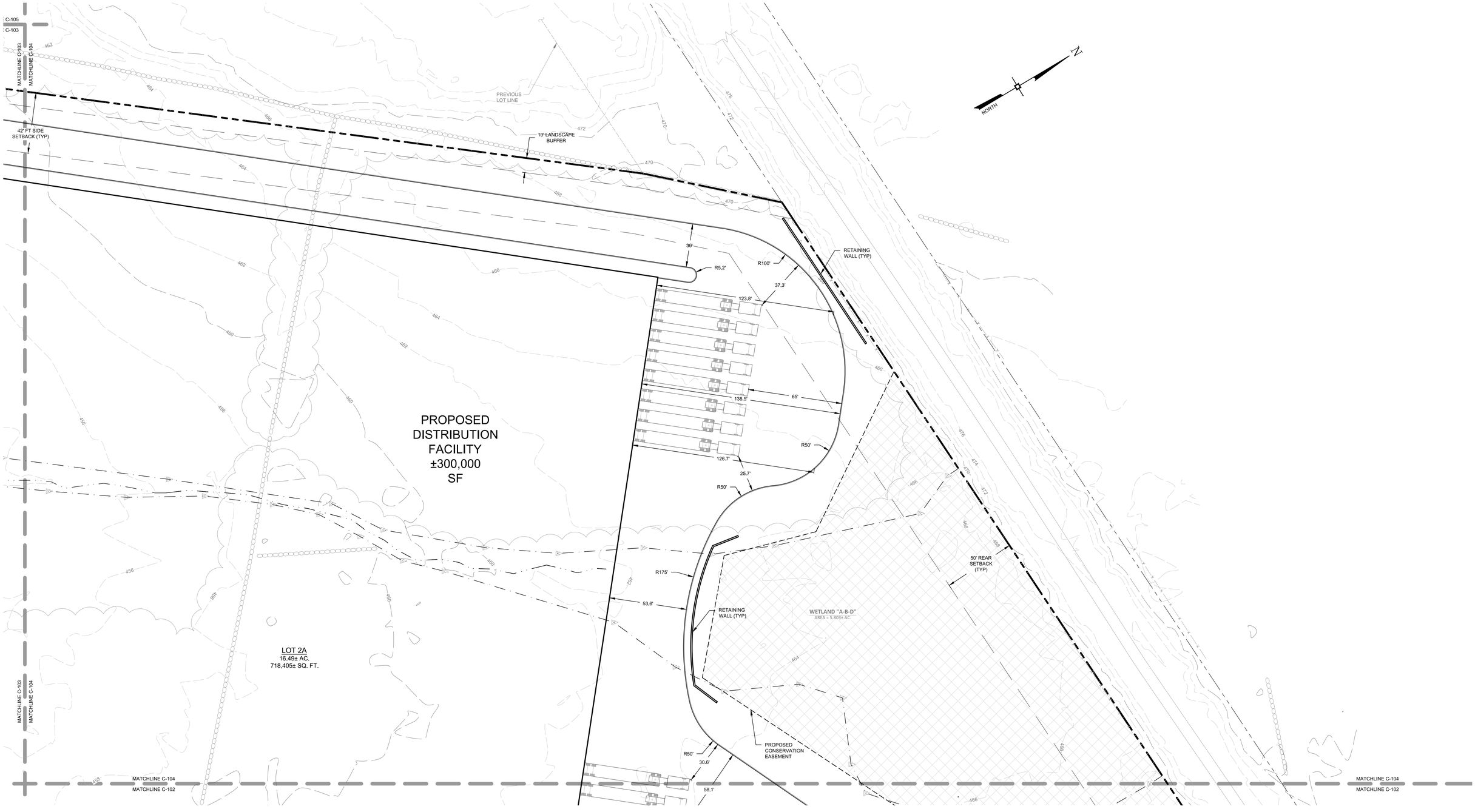

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

C-104

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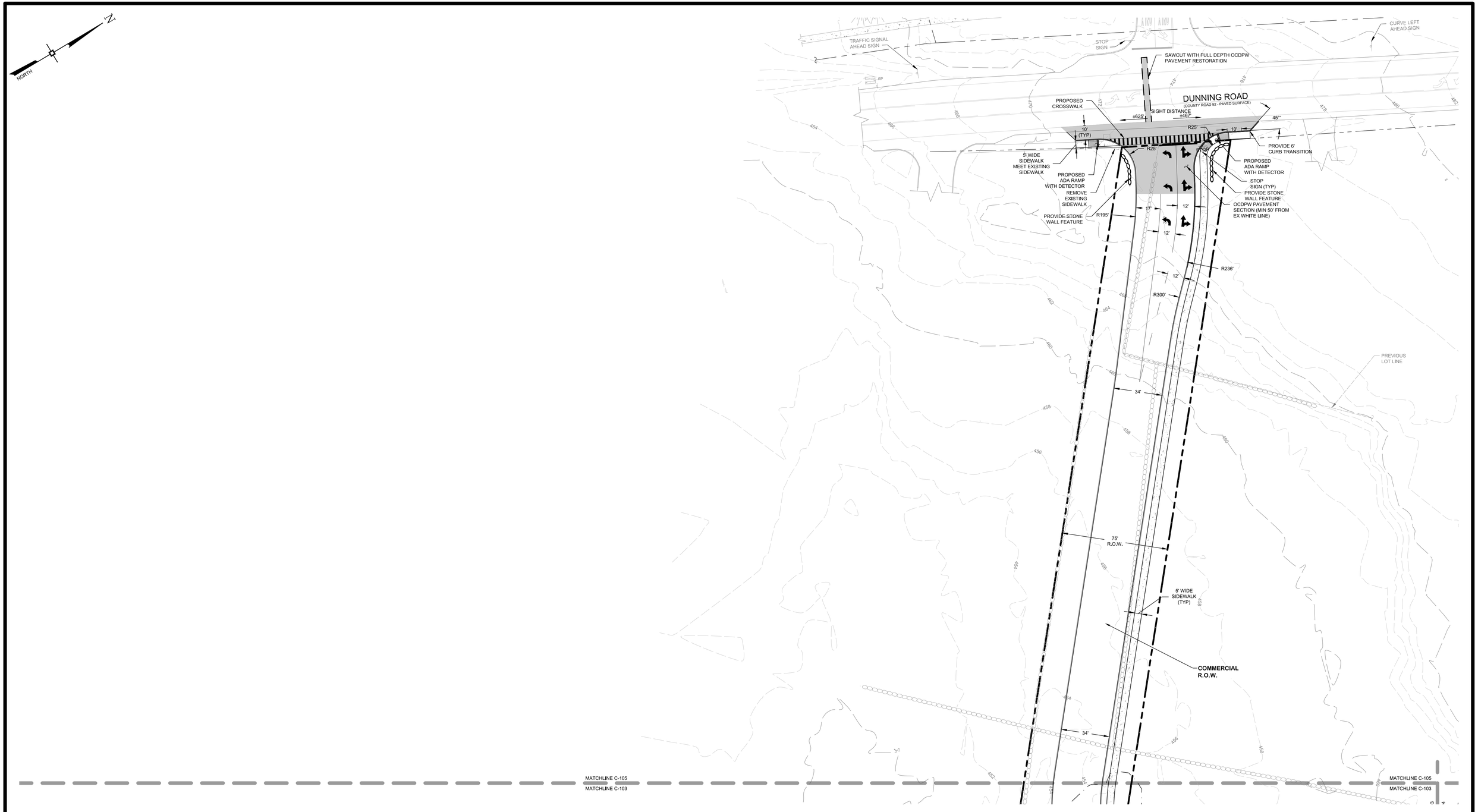

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☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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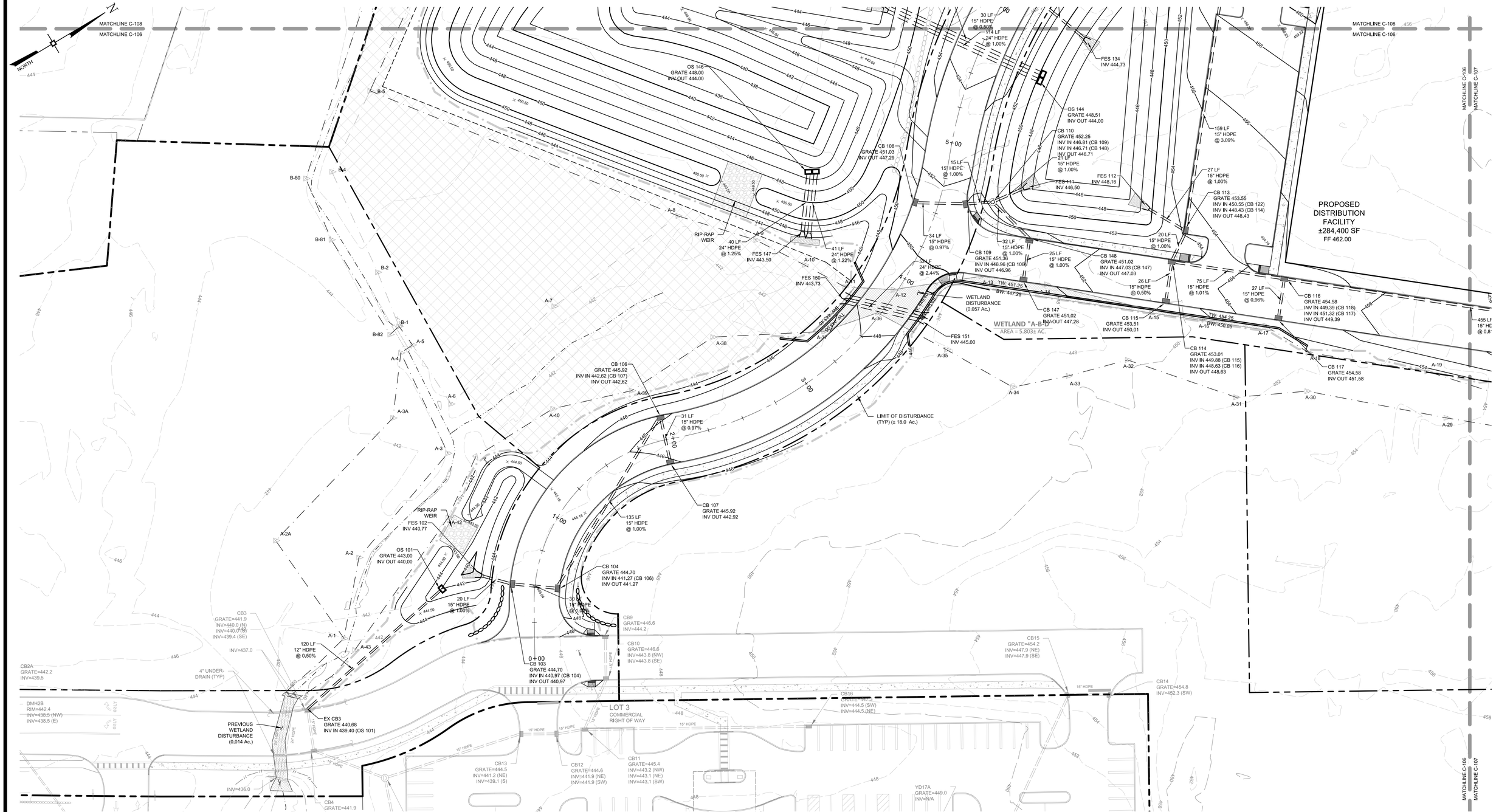

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	7	OF	N/A

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GRADING & DRAINAGE PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

C-106

TOWN OF WALLKILL PB SHEET 7 OF 39

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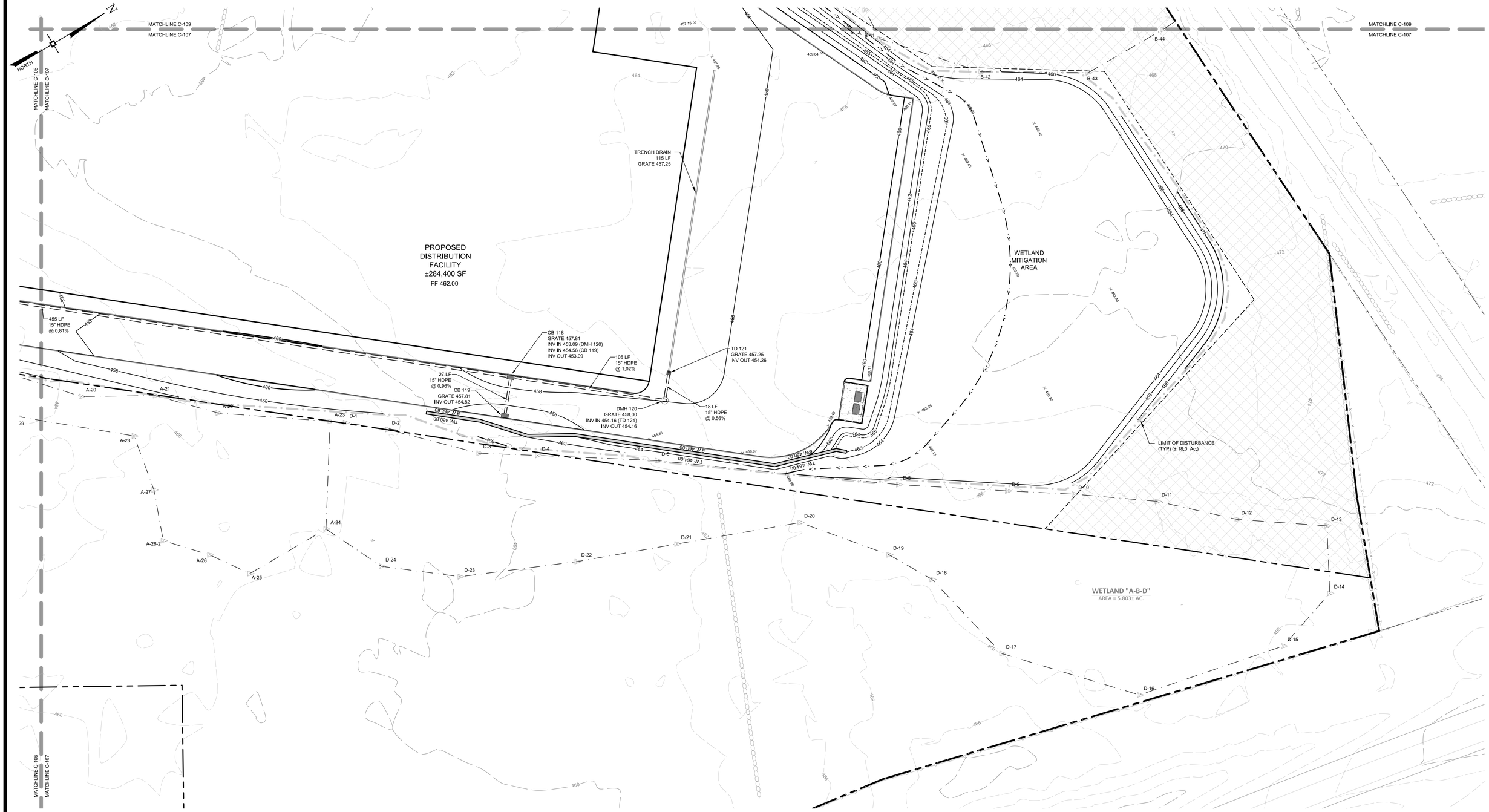
Date Printed: Jun 05, 2020, 11:06am



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☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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599 EAST MAIN STREET
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ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-107
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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Date Printed: Jun 05, 2020, 11:07am

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
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JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

C-108

TOWN OF WALLKILL PB SHEET 9 OF 39

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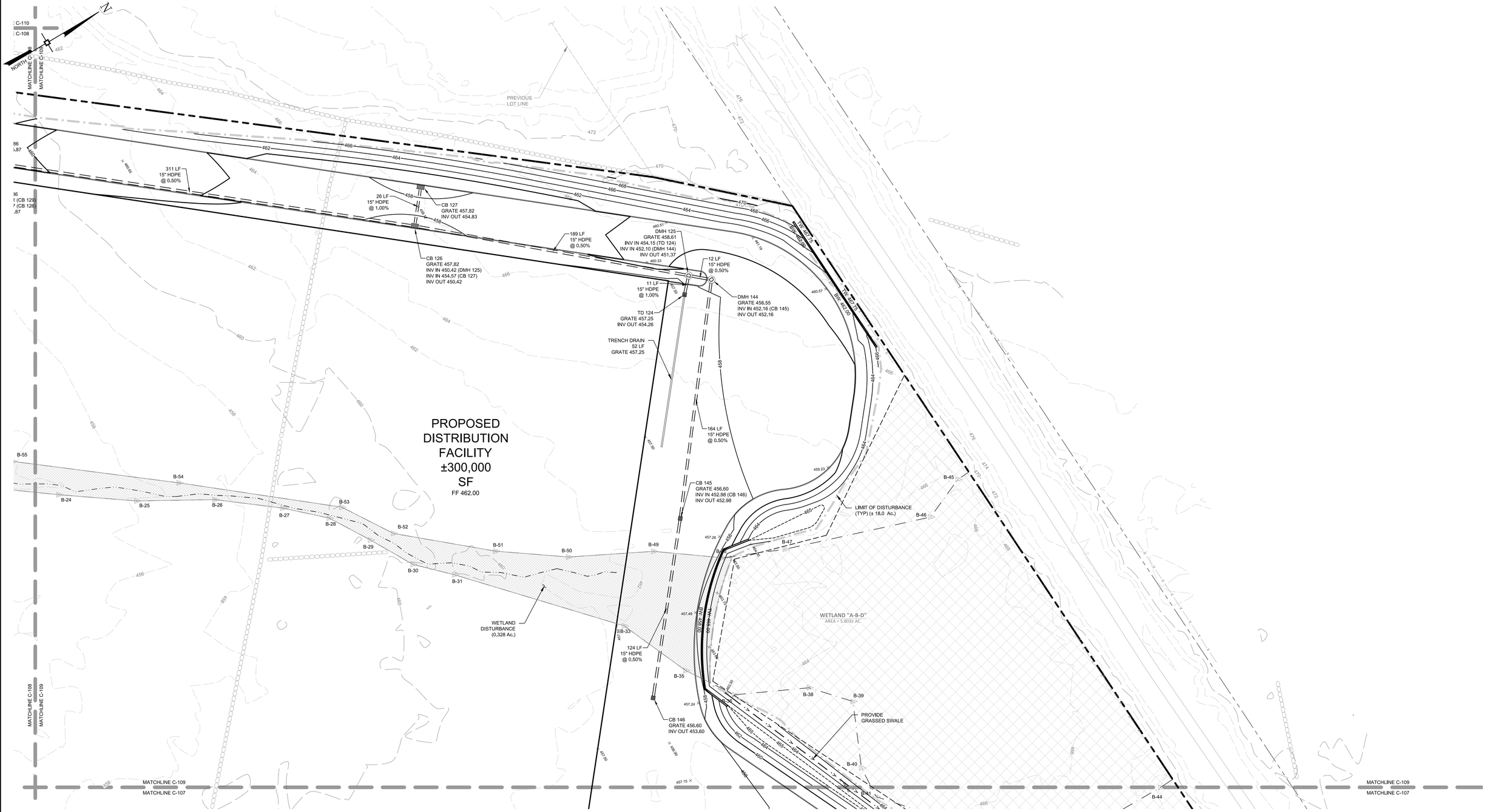
Date Printed: Jun 05, 2020, 11:08am



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2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS

ISSUE DATE: 06/05/2020

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	10	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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GRADING & DRAINAGE PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-109
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
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3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS — ISSUE DATE: 06/05/2020

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR — SHEET NUMBER

☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	11	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

C-110

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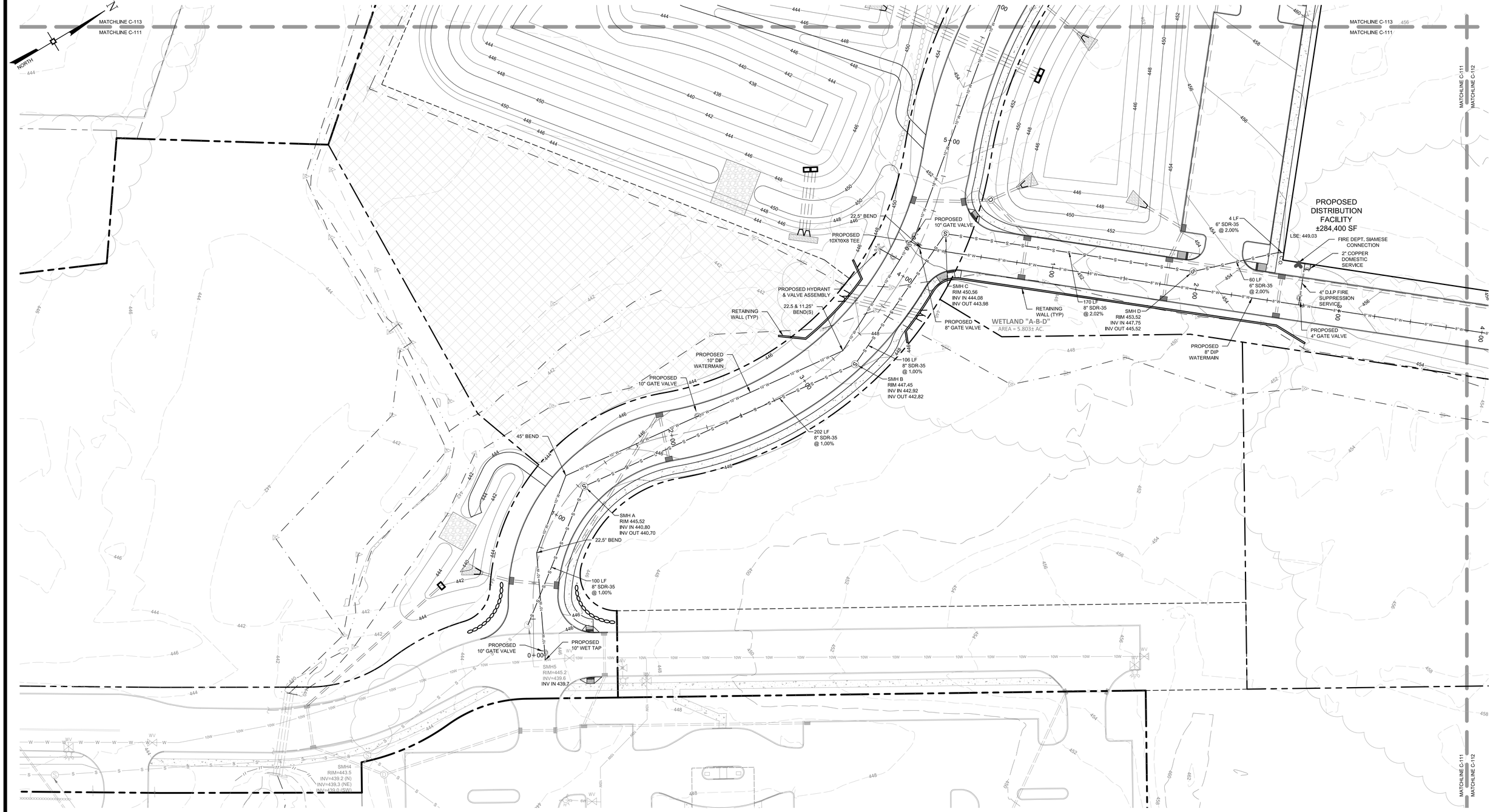

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DRAWING STATUS

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☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	12	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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UTILITY PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-111
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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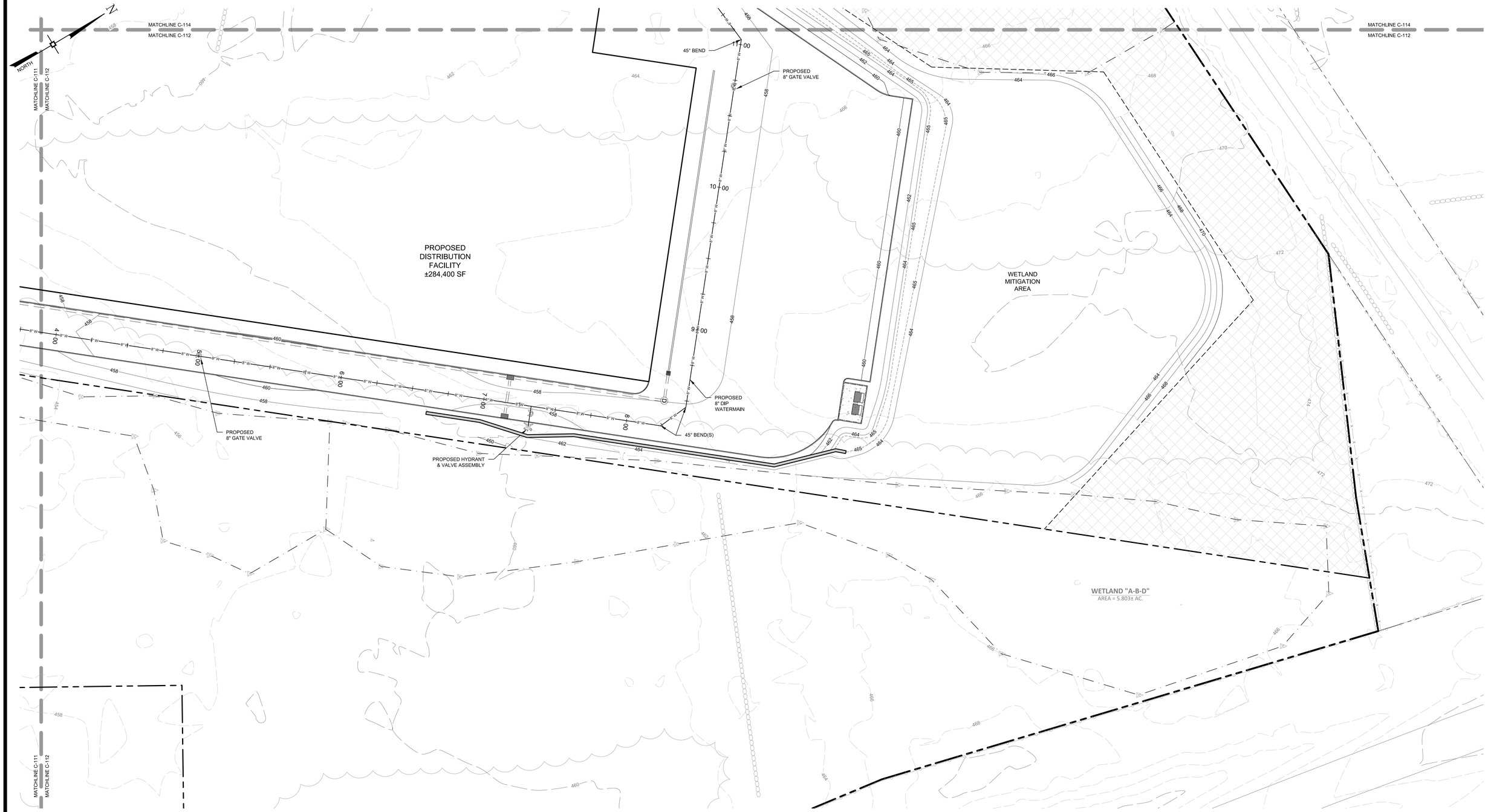

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☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	13	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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JOB #: 980.1504	DRAWN BY: JS	C-112
DATE: 01/06/20	SCALE: 1"=30'	
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TOWN OF WALLKILL PB SHEET 13 OF 39

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☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	14	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
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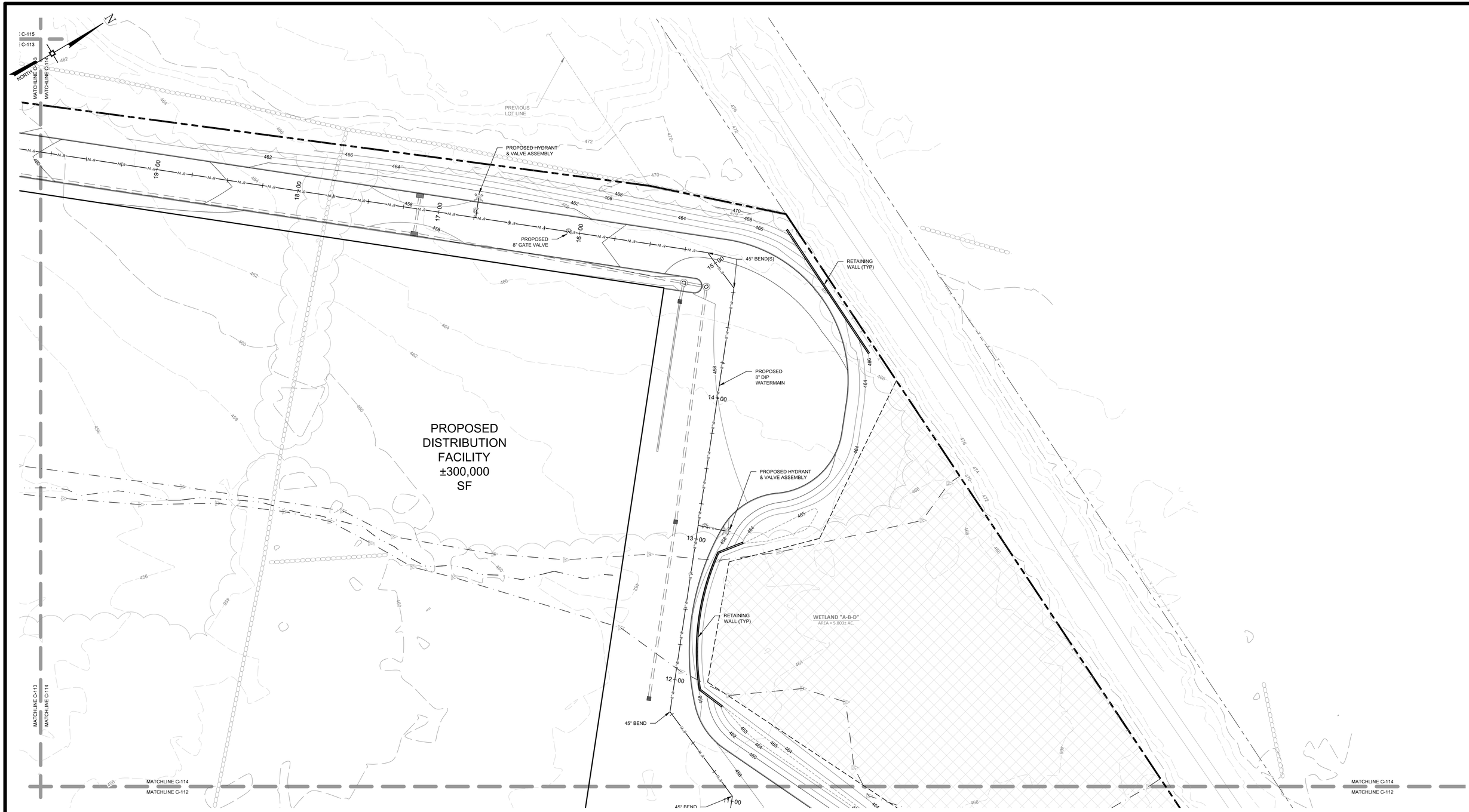

No.	DATE	DESCRIPTION
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ISSUE DATE: 06/05/2020

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR — SHEET NUMBER

☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	15	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
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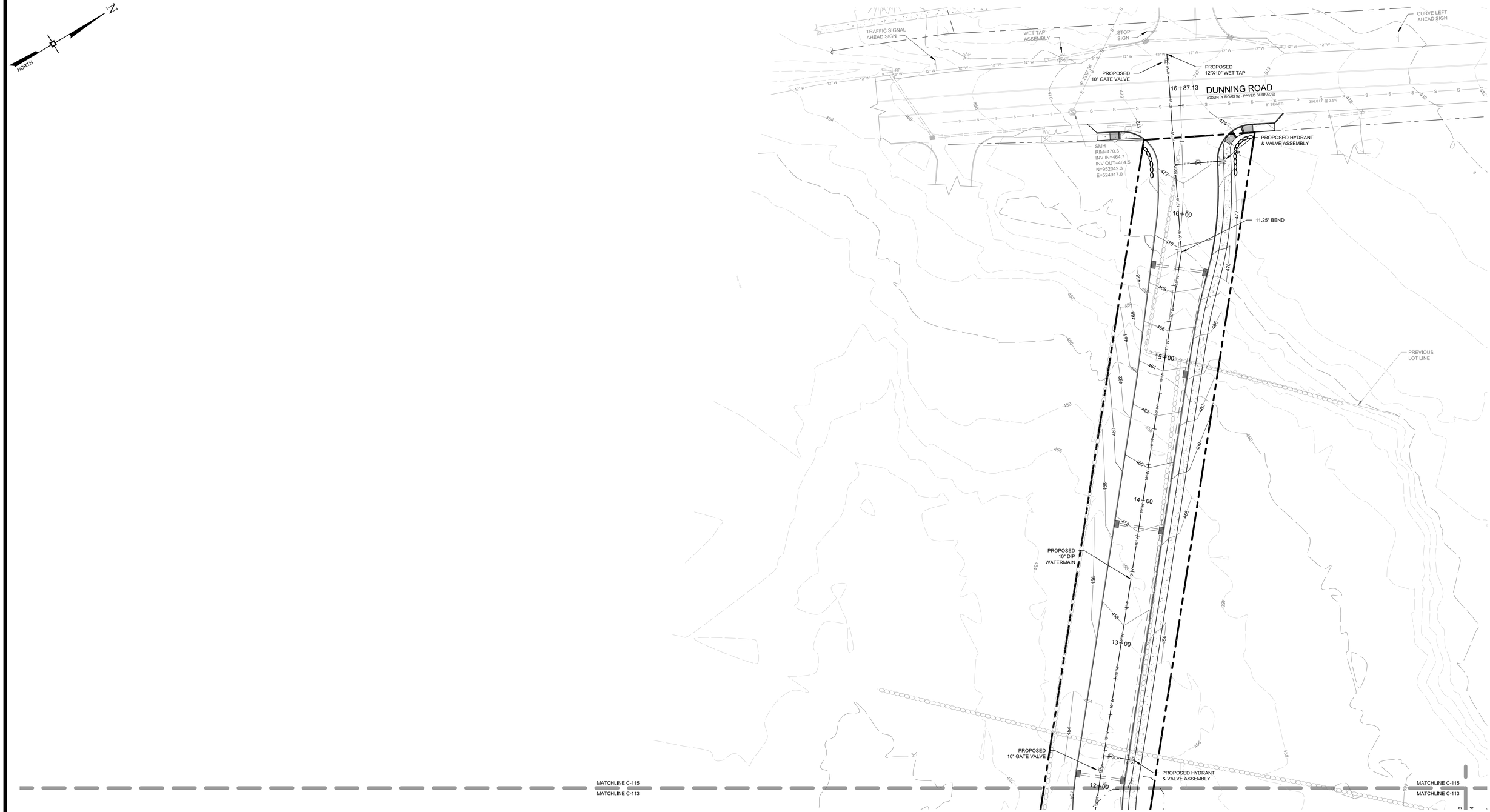

No.	DATE	DESCRIPTION
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DRAWING STATUS

ISSUE DATE: 06/05/2020

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR — SHEET NUMBER

☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	16	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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UTILITY PLAN

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599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

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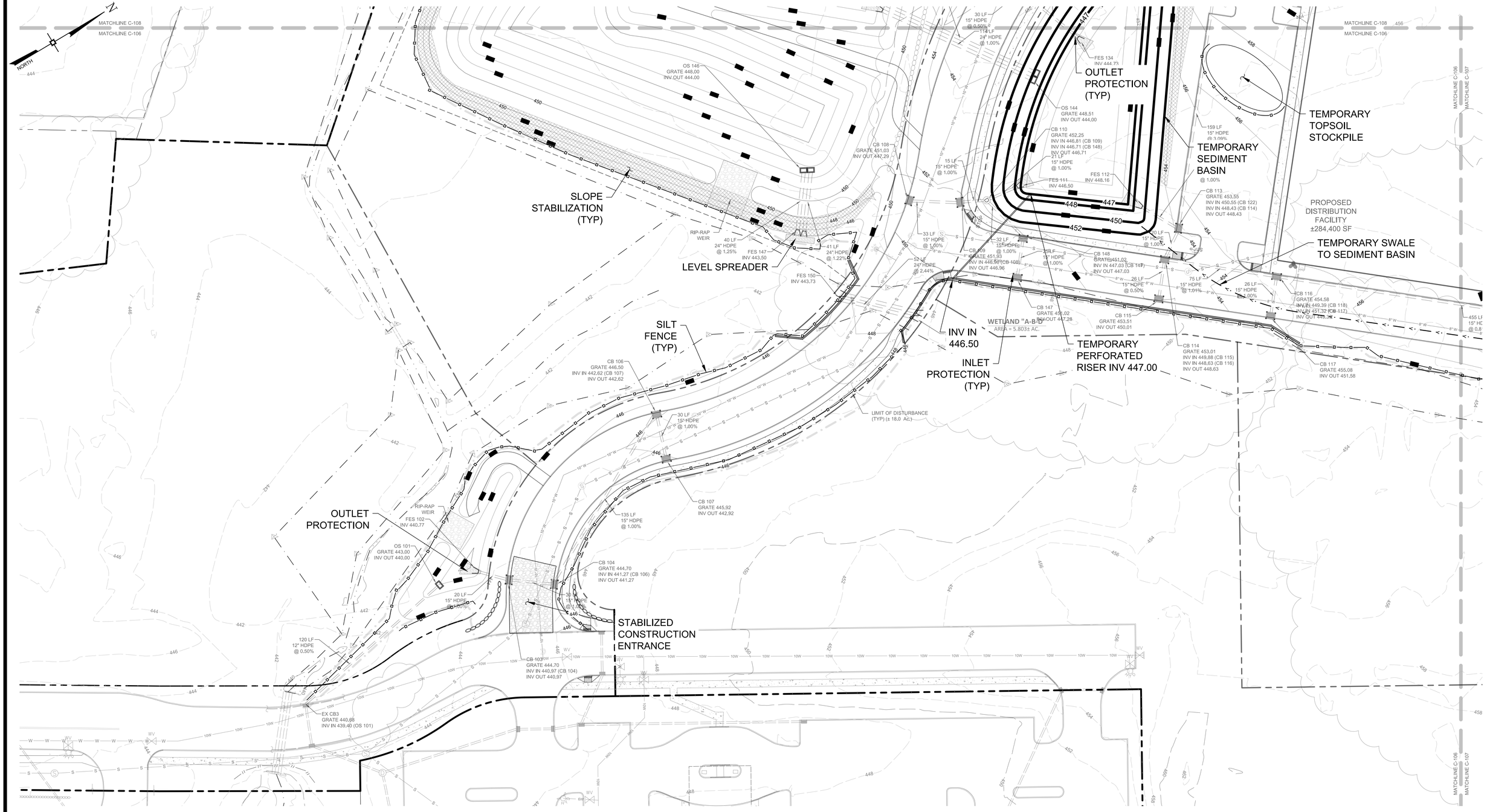

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DRAWING STATUS — ISSUE DATE: 06/05/2020

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR — SHEET NUMBER

☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	17	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
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EROSION CONTROL PLAN

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599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

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TOWN OF WALLKILL PB SHEET 17 OF 39

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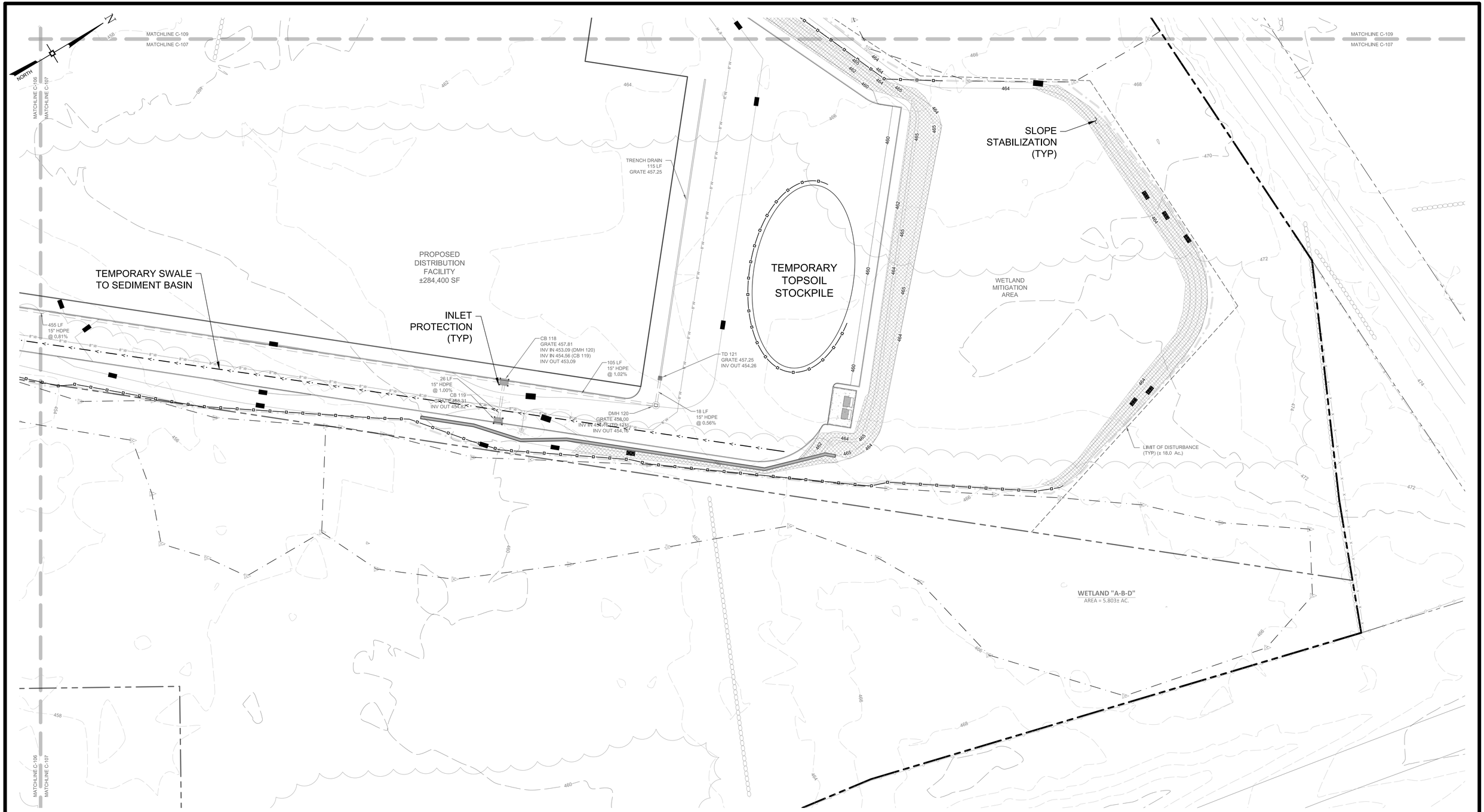

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☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	18	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
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EROSION CONTROL PLAN

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TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-117
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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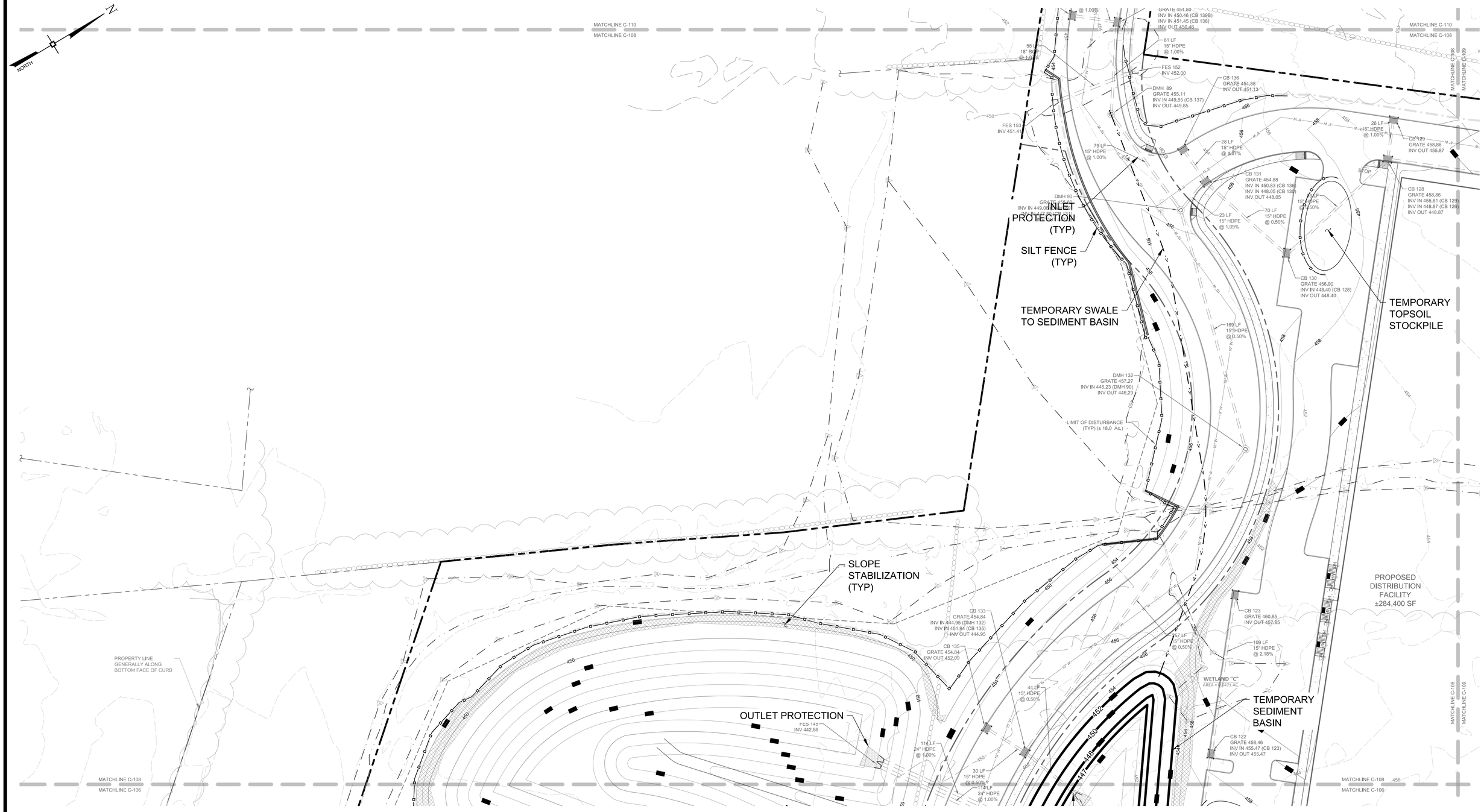
Date Printed: Jun 04, 2020, 5:14pm



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☑ PLANNING BOARD APPROVAL	19	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
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DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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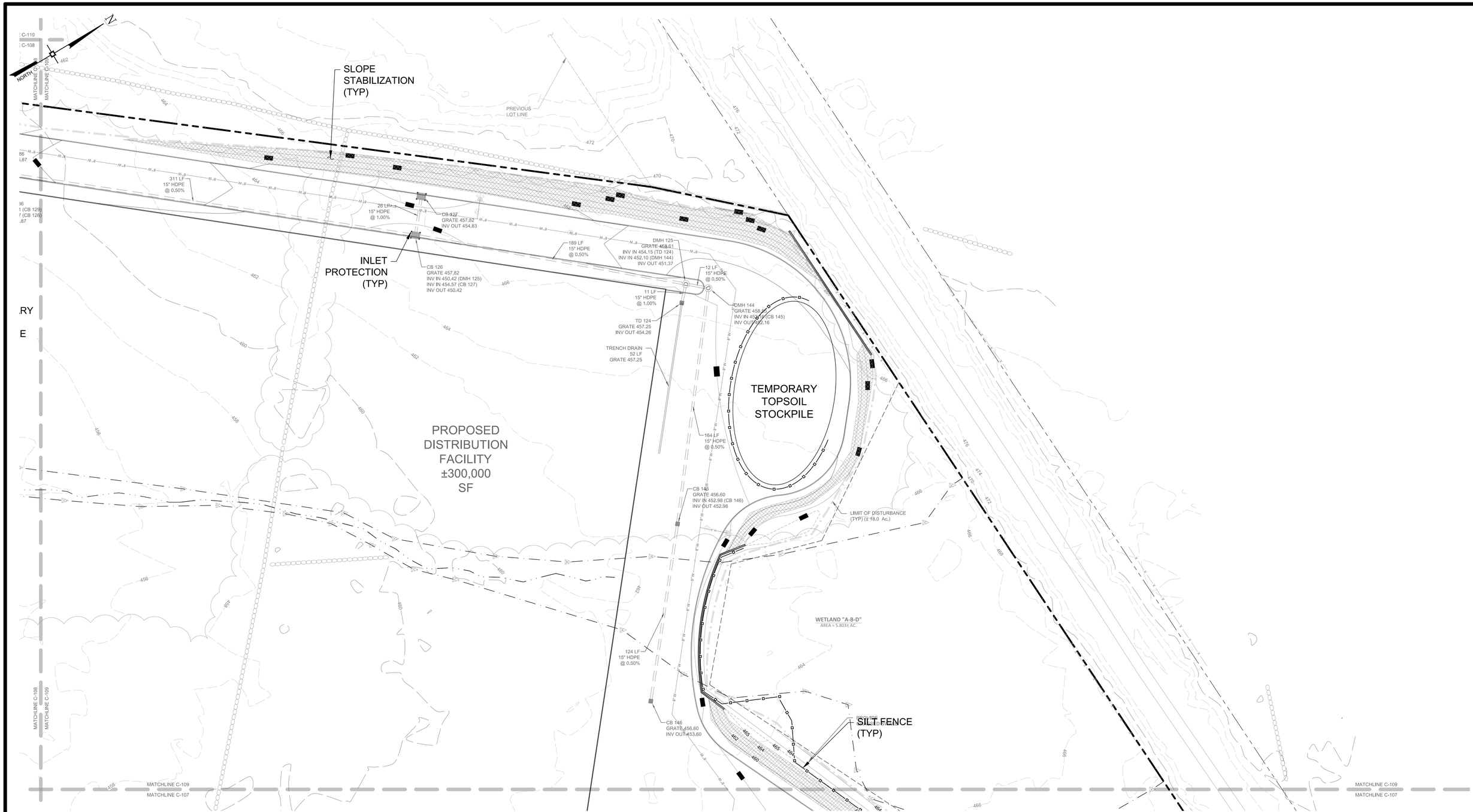

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☑ PLANNING BOARD APPROVAL	20	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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JOB #: 980.1504	DRAWN BY: JS	C-119
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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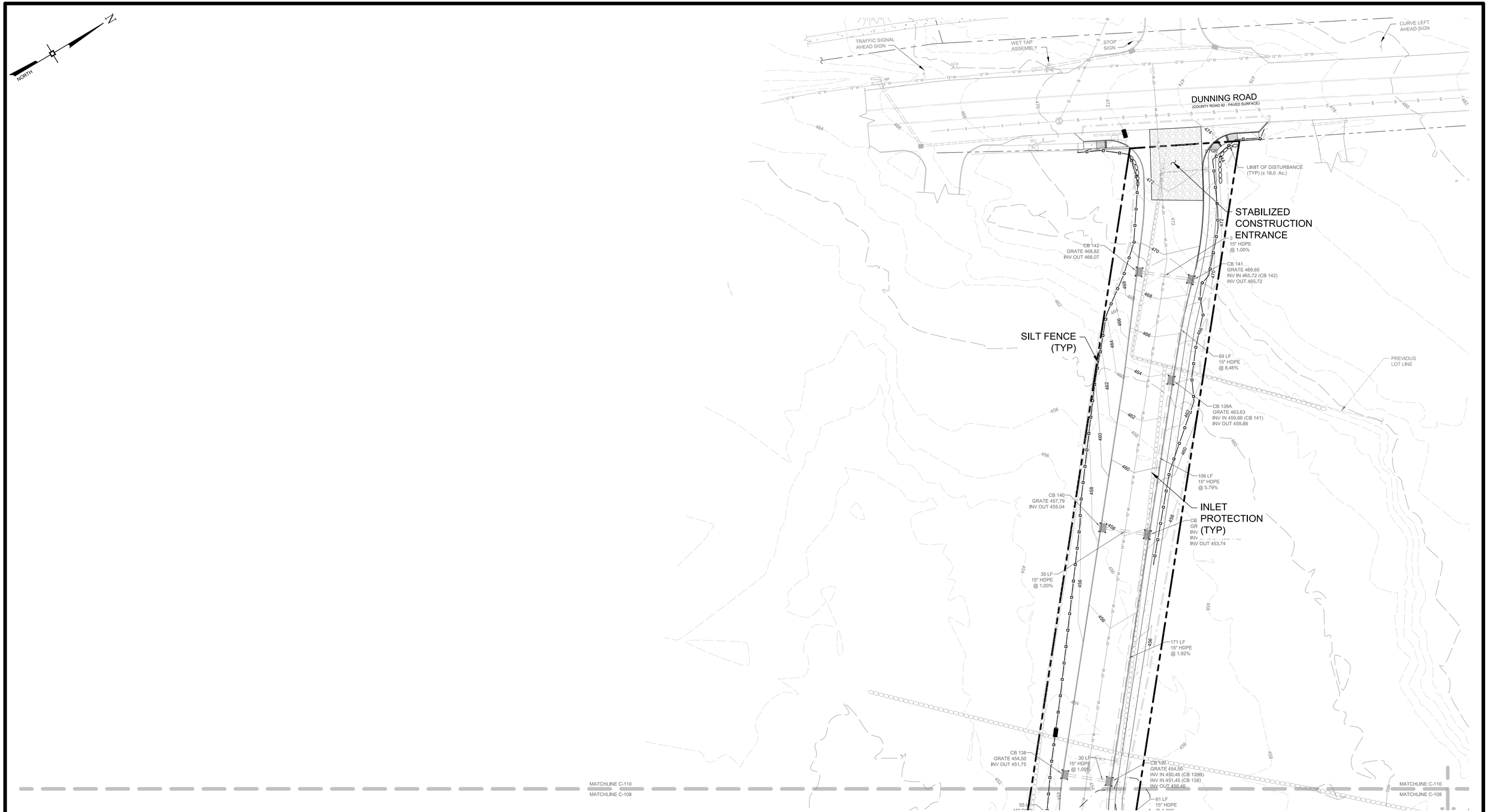

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS

ISSUE DATE: 06/05/2020

THIS SHEET IS PART OF THE PLAN SET ISSUED FOR — SHEET NUMBER

☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	21	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

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EROSION CONTROL PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-120
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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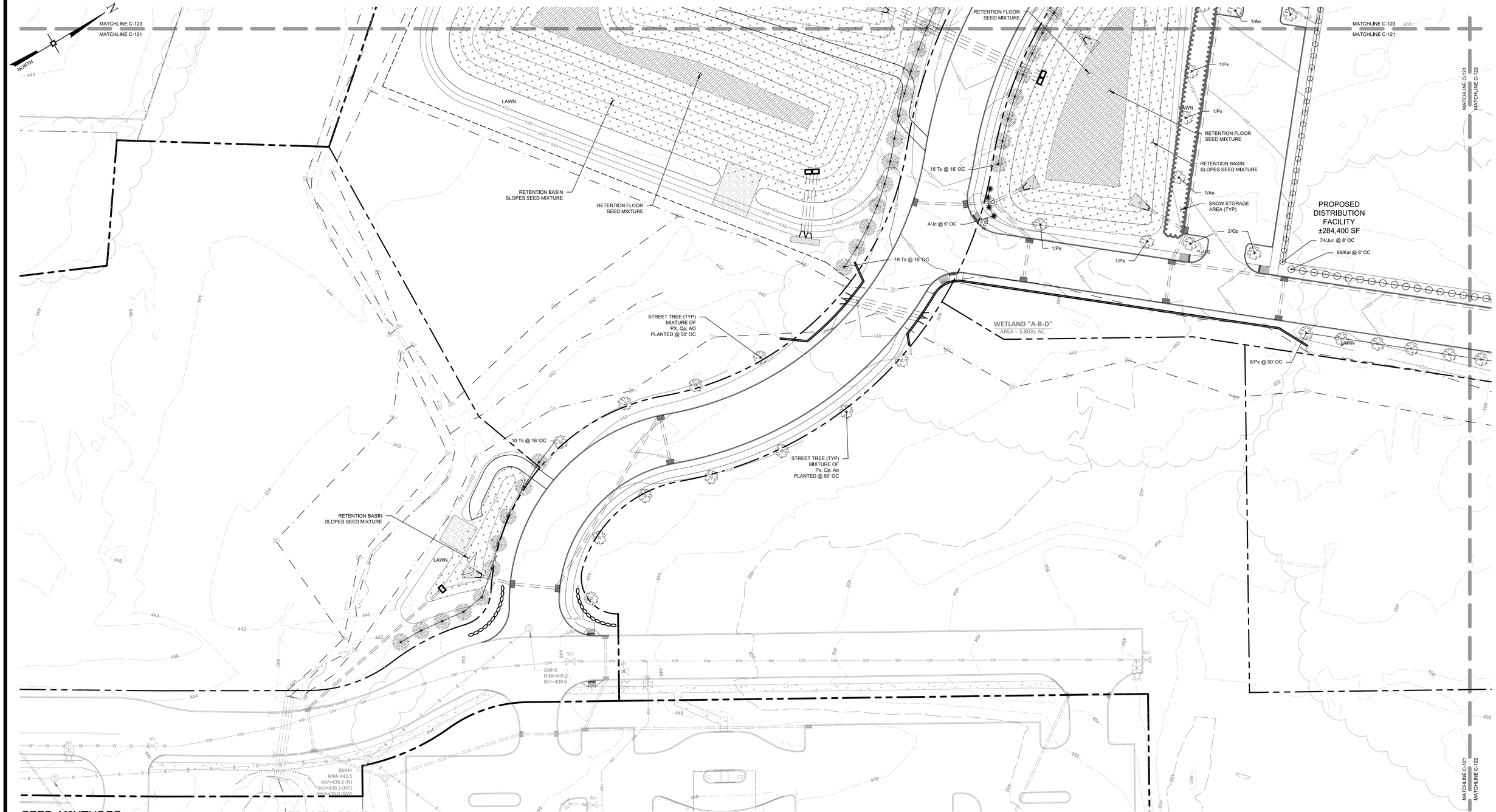

SEED MIXTURES

SYM	SEED MIXTURE AND RATE
LAWN	LAWN. SPECIES: FESTUCA RUBRA, CREEPING RED FESCUE, 30%, POA PRATENSIS, KENTUCKY BLUE GRASS, 50%, LOLIUM MULTIFLORUM, ANNUAL RYE, 10%, LOLIUM PERENNE, PERENNIAL RYE, 10%. SEEDING RATE: 4-5 LBS PER 1000 SQUARE FEET.
RETENTION FLOOR	RETENTION BASIN FLOOR SEED MIX. SPECIES LIST: AGROSTIS ALBA (REDTOP), AGROSTIS PERENNANS (AUTUMN BENTGRASS), AGROSTIS SCABRA (TICKLEGRASS ROUGH BENTGRASS), AGROSTIS STOLONIFERA (CREEPING BENTGRASS), CAREX VULPINOIDEA (FOX SEDGE), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), POA PALUSTRIX (FOWL BLUEGRASS), PUCCINELLIA DISTANS (ALKALI GRASS). SEED RATE: 20 LBS PER ACRE OR 1/2-1 LB. PER 1000 SQUARE FEET.
RETENTION BASIN SLOPES	SEASONALLY FLOODED AREA ANNUAL & PERENNIAL WILDLIFE FOOD MIX. SPECIES: AGROSTIS PERENNANS (AUTUMN BENTGRASS, BROMUS ALTISSIMUS (WILD BROME GRASS), CAREX INTUMESCENS (BLADDER SEDGE), CAREX SCOPARIA (BLUNT BROOM SEDGE), CAREX STIPATA (AWL SEDGE), CAREX VULPINOIDEA (FOX SEDGE), DESMODIUM CANADENSE (SHOWY TICK TREFOIL), ECHINOCHIOA CRUSGALLI FRUMENTACEA (JAPANESE MILLET), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), HELLIOPSIS HELIANTHOIDES (OX EYE SUNFLOWER), JUNCUS TENUIS (PATH RUSH), PANICUM CLANDESTINUM (DEER TONGUE), PANICUM VIGATUM (SWITCHGRASS),. SEEDING RATE: 15 LBS. PER ACRE OR 1/3 - 1/2 LBS PER 1000 SQUARE FEET.

NOTE: SEE MIXTURES BY ERNST CONSERVATION SEEDS, WWW.EARNSTSEED.COM.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
Px	23	Prunus x Yedoensis	Yoshino Cherry	2-1/2"- 3" c	B&B
Pg	30	Picea Glauca	White Spruce	7' - 8' hgt	B&B
Ts	45	Thuja Standishii X Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' hgt	B&B
Qp	20	Quercus Palustris	Pin Oak	3" - 3-1/2" c	B&B
Ao	22	Acer Rubrum (October Glory)	October Glory Red Maple	3" - 3-1/2" c	B&B
Ar	12	Acer Rubrum	Shamrock Inkberry Holly	30" - 34"	B&B
Aa	12	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B&B
SHRUBS					
Bs	32	Buxus Sempervirens	English Boxwood	30"-34"	B&B
Jc	4	Juniperous Chinensis "Gold Coast"	Gold Coast Juniper	30"-34"	Container
Sj	5	Spiraea Japonica	Little Princess Spiraea	24"-30"	Container
Jun	74	Juniperus Horizontalis	Creeping Juniper	24"-30"	Pot
Ile	61	Ilex Glabra	Compact Inkberry	24"-30"	Pot
Kal	5	Kalmia Latifolia	Mountain Laurel	24"-30"	Pot

DECIDUOUS TREE
DECIDUOUS SHRUB
EVERGREEN TREE
EVERGREEN SHRUB

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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☐ FOR BID	N/A	OF	N/A
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LANDSCAPING PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

C-121

TOWN OF WALLKILL PB SHEET 22 OF 39

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Date Printed: Jun 04, 2020, 5:17pm

SEED MIXTURES

SYM	SEED MIXTURE AND RATE
LAWN	LAWN. SPECIES: FESTUCA RUBRA, CREEPING RED FESCUE, 30%, POA PRATENSIS, KENTUCKY BLUE GRASS, 50%, LOLIUM MULTIFLORUM, ANNUAL RYE, 10%, LOLIUM PERENNE, PERENNIAL RYE, 10%. SEEDING RATE: 4-5 LBS PER 1000 SQUARE FEET.
RETENTION FLOOR	RETENTION BASIN FLOOR SEED MIX. SPECIES LIST: AGROSTIS ALBA (REDTOP), AGROSTIS PERENNANS (AUTUMN BENTGRASS), AGROSTIS SCABRA (TICKLEGRASS ROUGH BENTGRASS), AGROSTIS STOLONIFERA (CREEPING BENTGRASS), CAREX VULPINOIDEA (FOX SEDGE), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), POA PALUSTRIX (FOWL BLUEGRASS), PUCCINELLIA DISTANS (ALKALI GRASS). SEED RATE: 20 LBS PER ACRE OR 1/2-1 LB. PER 1000 SQUARE FEET.
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NOTE: SEE MIXTURES BY ERNST CONSERVATION SEEDS, WWW.EARNSTSEED.COM.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
Px	23	Prunus x Yedoensis	Yoshino Cherry	2-1/2" - 3" c	B&B
Pg	30	Picea Glauca	White Spruce	7' - 8' hgt	B&B
Ts	45	Thuja Standishii X Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' hgt	B&B
Qp	20	Quercus Palustris	Pin Oak	3" - 3-1/2" c	B&B
Ao	22	Acer Rubrum (October Glory)	October Glory Red Maple	3" - 3-1/2" c	B&B
Ar	12	Acer Rubrum	Shamrock Inkberry Holly	30" - 34"	B&B
Aa	12	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B&B
SHRUBS					
Bs	32	Buxus Sempervirens	English Boxwood	30"-34"	B&B
Jc	4	Juniperous Chinensis "Gold Coast"	Gold Coast Juniper	30"-34"	Container
Sj	5	Spiraea Japonica	Little Princess Spiraea	24"-30"	Container
Jun	74	Juniperus Horizontalis	Creeping Juniper	24"-30"	Pot
Ile	61	Ilex Glabra	Compact Inkberry	24"-30"	Pot
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DECIDUOUS TREE

DECIDUOUS SHRUB

EVERGREEN TREE

EVERGREEN SHRUB

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☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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☐ FOR BID	N/A	OF	N/A
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LANDSCAPING PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS
DATE: 01/06/20	SCALE: 1"=30'
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1

C-122

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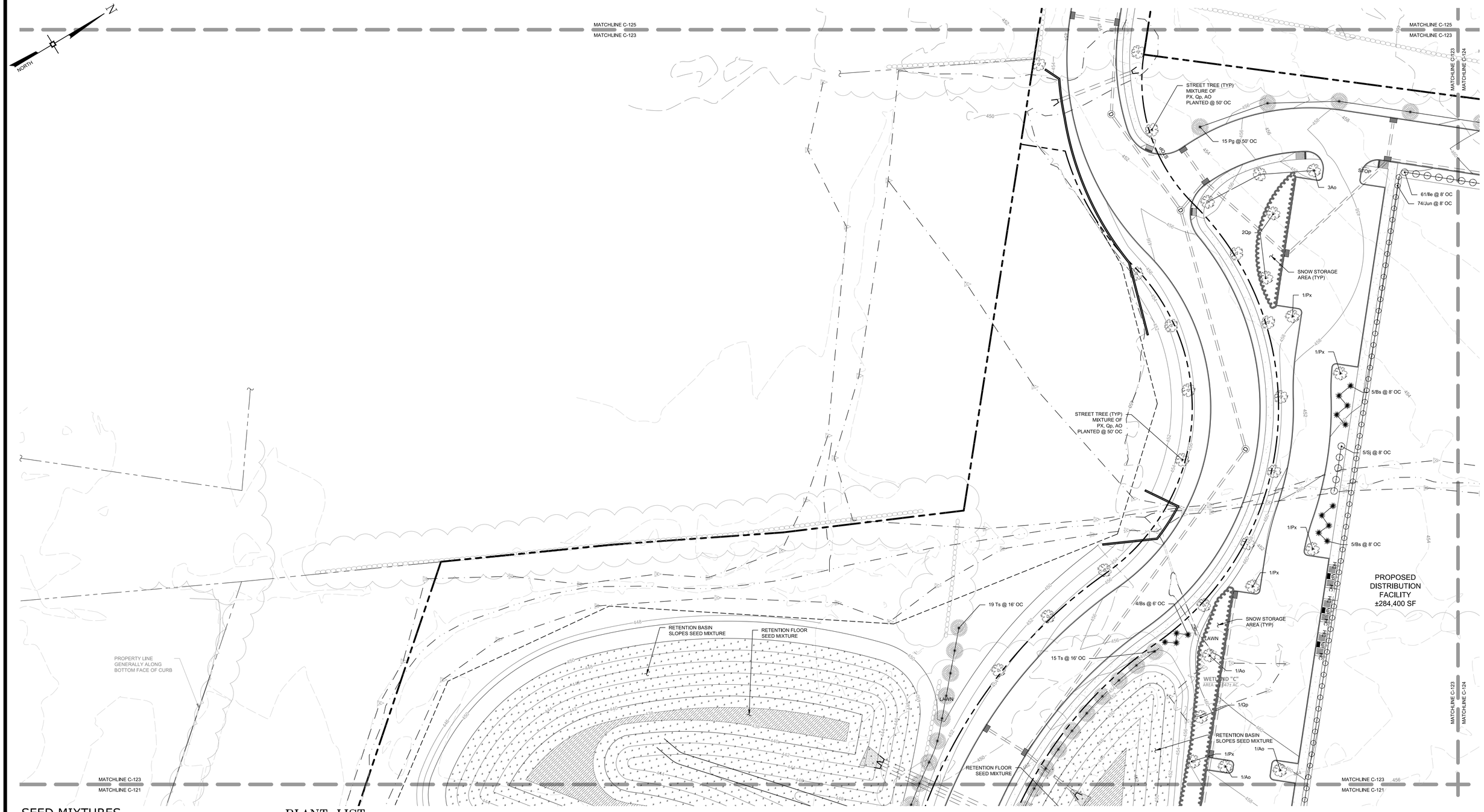

SEED MIXTURES

SYM	SEED MIXTURE AND RATE
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DECIDUOUS TREE

DECIDUOUS SHRUB

EVERGREEN TREE

EVERGREEN SHRUB

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☑ PLANNING BOARD APPROVAL	24	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
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LANDSCAPING PLAN

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599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	
DATE: 01/06/20	SCALE: 1"=30'	C-123
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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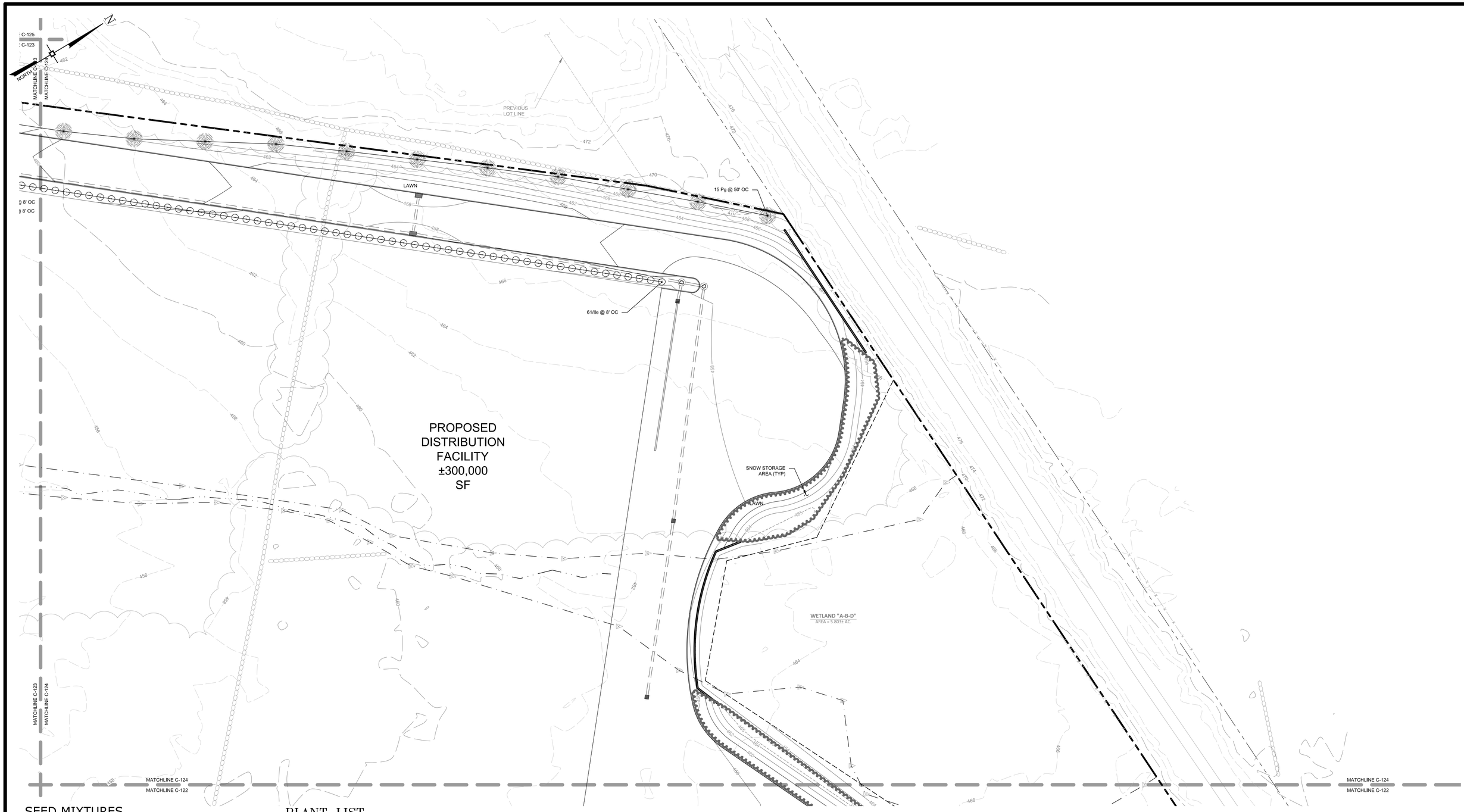

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ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
DATE:	01/06/20	SCALE:	1"=30'
REVISION:	3 - 06/05/2020	TAX LOT:	78-1-94.1

C-124

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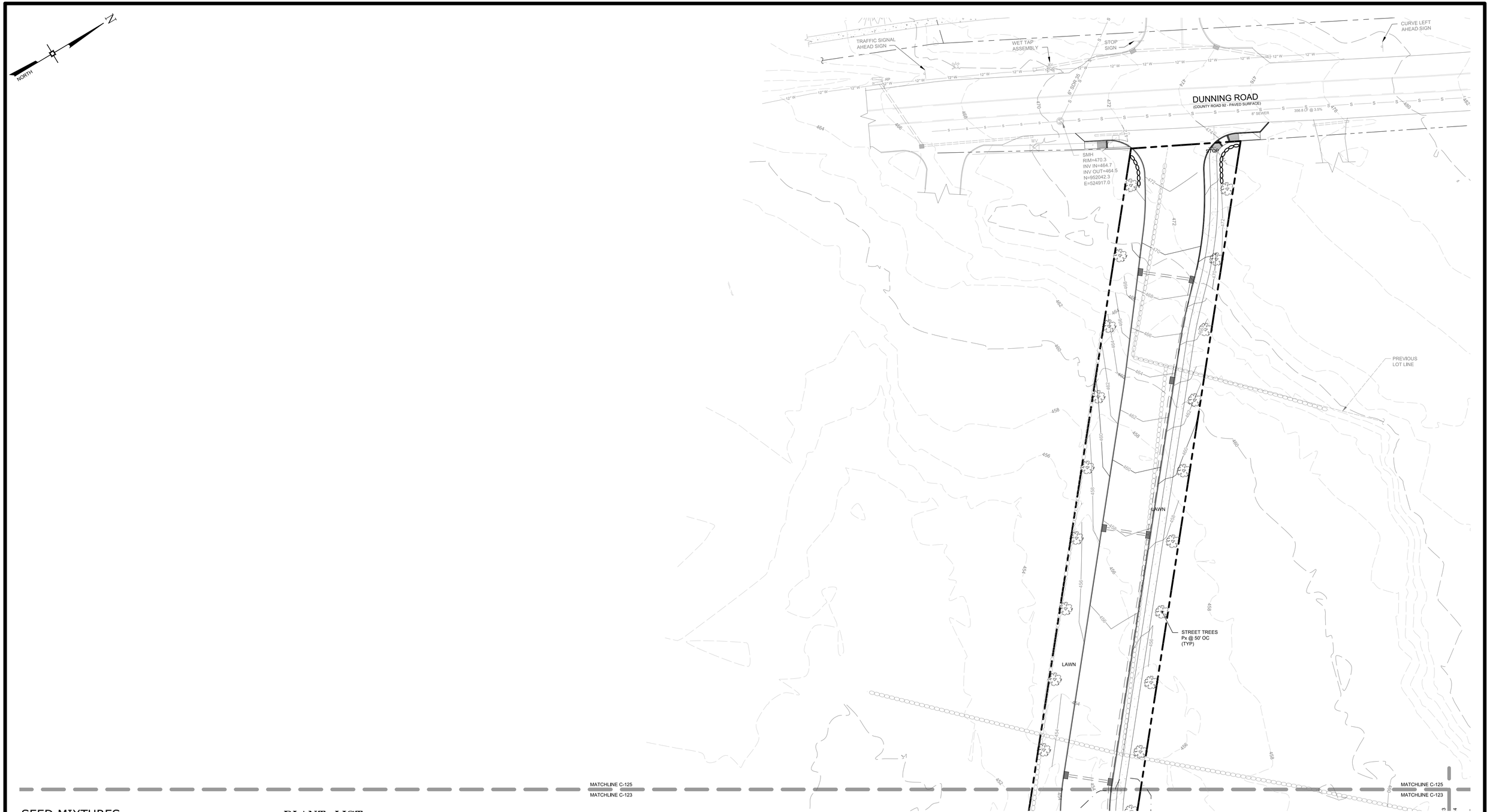
Date Printed: Jun 04, 2020, 5:19pm



SEED MIXTURES

SYM	SEED MIXTURE AND RATE
LAWN	LAWN. SPECIES: FESTUCA RUBRA, CREEPING RED FESCUE, 30%, POA PRATENSIS, KENTUCKY BLUE GRASS, 50%, LOLIUM MULTIFLORUM, ANNUAL RYE, 10%, LOLIUM PERENNE, PERENNIAL RYE, 10%. SEEDING RATE: 4-5 LBS PER 1000 SQUARE FEET.
RETENTION FLOOR	RETENTION BASIN FLOOR SEED MIX. SPECIES LIST: AGROSTIS ALBA (REDTOP), AGROSTIS PERENNANS (AUTUMN BENTGRASS), AGROSTIS SCABRA (TICKLEGRASS ROUGH BENTGRASS), AGROSTIS STOLONIFERA (CREEPING BENTGRASS), CAREX VULPINOIDEA (FOX SEDGE), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), POA PALUSTRIX (FOWL BLUEGRASS), PUCCINELLIA DISTANS (ALKALI GRASS). SEED RATE: 20 LBS PER ACRE OR 1/2-1 LB. PER 1000 SQUARE FEET.
RETENTION BASIN SLOPES	SEASONALLY FLOODED AREA ANNUAL & PERENNIAL WILDLIFE FOOD MIX. SPECIES: AGROSTIS PERENNANS (AUTUMN BENTGRASS, BROMUS ALTISSIMUS (WILD BROME GRASS), CAREX INTUMESCENS (BLADDER SEDGE), CAREX SCOPARIA (BLUNT BROOM SEDGE), CAREX STIPATA (AWL SEDGE), CAREX VULPINOIDEA (FOX SEDGE), DESMODIUM CANADENSE (SHOWY TICK TREFOIL), ECHINOCHIOA CRUSGALLI FRUMENTACEA (JAPANESE MILLET), ELYMUS VIRGINICUS (VIRGINIA WILD RYE), HELLIOPSIS HELIANTHOIDES (OX EYE SUNFLOWER), JUNCUS TENUIS (PATH RUSH), PANICUM CLANDESTINUM (DEER TONGUE), PANICUM VIGATUM (SWITCHGRASS),. SEEDING RATE: 15 LBS. PER ACRE OR 1/3 - 1/2 LBS PER 1000 SQUARE FEET.

NOTE: SEE MIXTURES BY ERNST CONSERVATION SEEDS, WWW.EARNSTSEED.COM.

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
Px	23	Prunus x Yedoensis	Yoshino Cherry	2-1/2"- 3" c	B&B
Pg	30	Picea Glauca	White Spruce	7' - 8' hgt	B&B
Ts	45	Thuja Standishii X Plicata "Green Giant"	Green Giant Arborvitae	6' - 7' hgt	B&B
Qp	20	Quercus Palustris	Pin Oak	3" - 3-1/2" c	B&B
Ao	22	Acer Rubrum (October Glory)	October Glory Red Maple	3" - 3-1/2" c	B&B
Ar	12	Acer Rubrum	Shamrock Inkberry Holly	30" - 34"	B&B
Aa	12	Amelanchier Canadensis	Shadblow Serviceberry	30" - 34"	B&B
SHRUBS					
Bs	32	Buxus Sempervirens	English Boxwood	30"-34"	B&B
Jc	4	Juniperous Chinensis "Gold Coast"	Gold Coast Juniper	30"-34"	Container
Sj	5	Spiraea Japonica	Little Princess Spiraea	24"-30"	Container
Jun	74	Juniperus Horizontalis	Creeping Juniper	24"-30"	Pot
Ile	61	Ilex Glabra	Compact Inkberry	24"-30"	Pot
Kal	5	Kalmia Latifolia	Mountain Laurel	24"-30"	Pot

DECIDUOUS TREE

DECIDUOUS SHRUB

EVERGREEN TREE

EVERGREEN SHRUB

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS

ISSUE DATE: 06/05/2020

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☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	26	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

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1 inch = 30 ft.

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LANDSCAPING PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS		
DATE: 01/06/20	SCALE: 1"=30'	C-125	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1		

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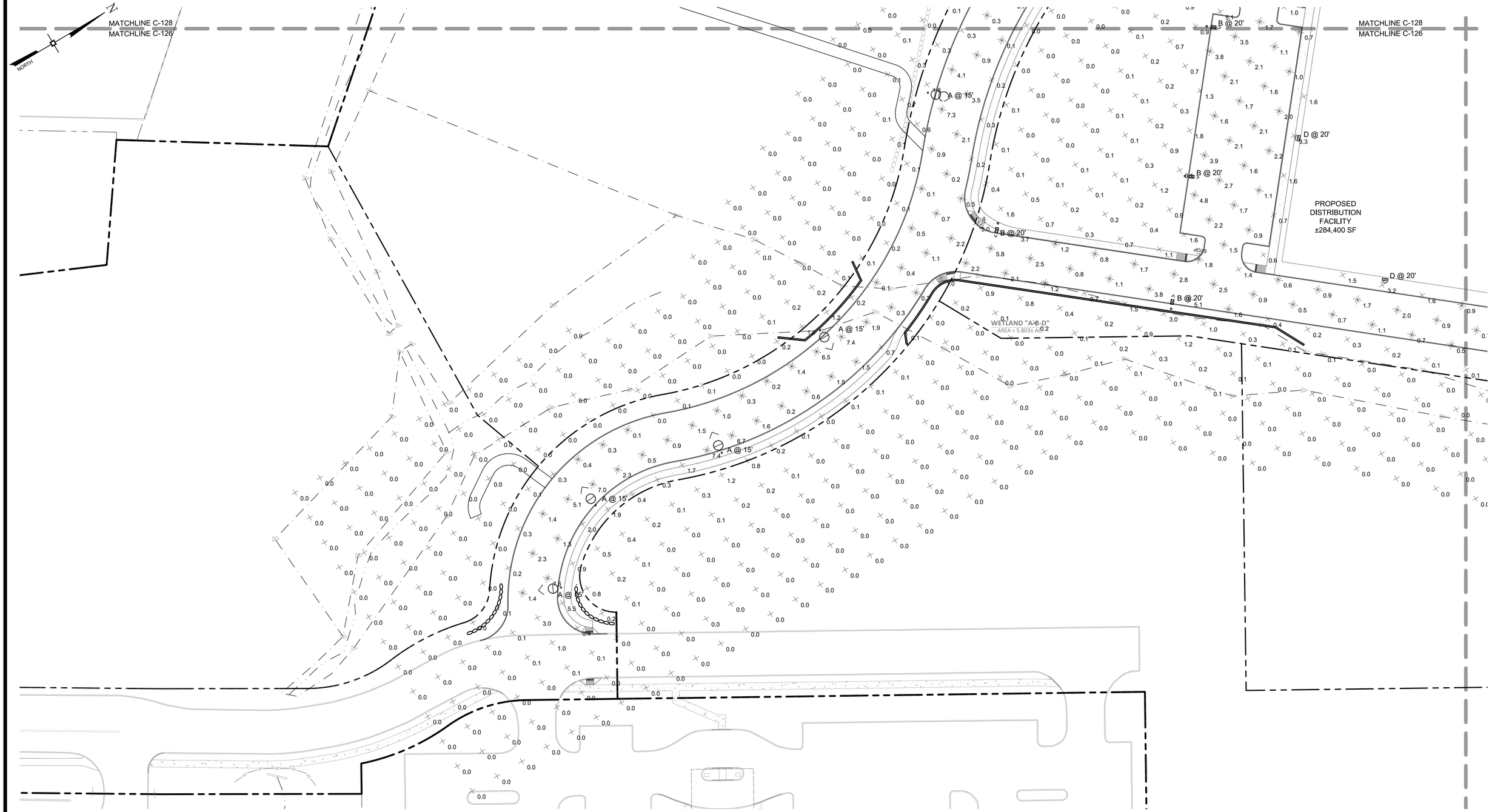

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency
	A	15	Holophane	GBLP2 P40 40K XX X L2	GlasWerks LED Bern - Flat Glass, LED Package #2, 4000K, Type 2 distribution	LED	1	10776	0.92	91	100%
	B	11	American Electric Lighting	AT80 308LEDE1S XXXXX R3 4K/5K	AT80 SERIES LED 1500MA TYPE 3 4000K/5000K CCT	LED Array	1	16192	0.92	145	100%
	C	8	American Electric Lighting	AT80 308LEDE1S XXXXX R4 4K/5K	AT80 SERIES LED 1500MA TYPE 4 4000K/5000K CCT	LED Array	1	16462	0.92	145	100%
	D	12	Holophane	HLWPC2 P40 40K XX T2M	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type II Medium	LED	1	9981	0.92	95	100%
	E	4	Holophane	HLWPC2 P40 40K XX TFTM	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Forward Throw Medium	LED	1	10300	0.92	96	100%

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
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LIGHTING PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	980.1504	DRAWN BY:	JS
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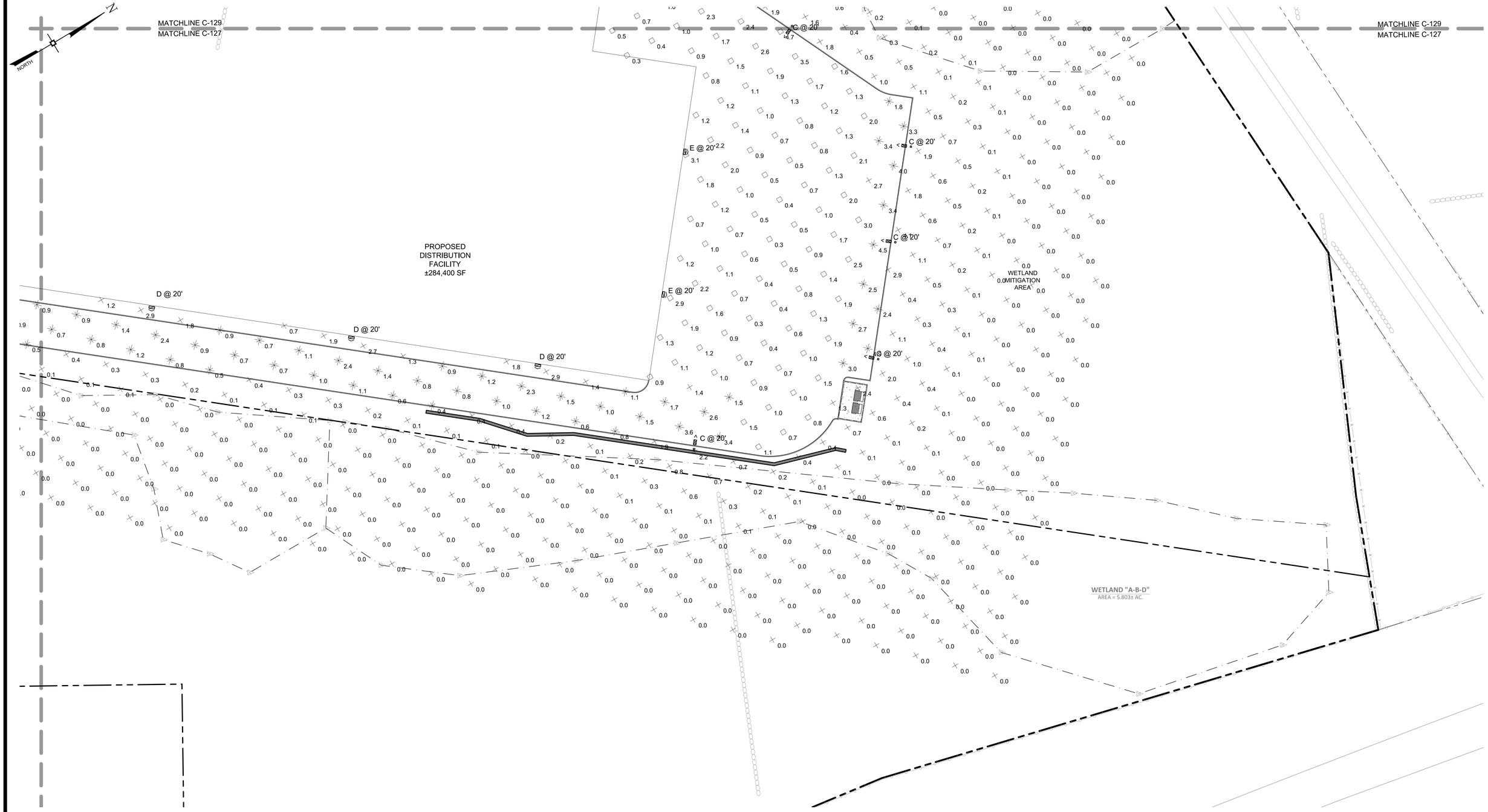

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Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency
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	B	11	American Electric Lighting	ATB0 308LED/E15 XXXXX R3 4K/5K	ATB0 SERIES LED 1500MA TYPE 3 4000K/5000K CCT	LED Array	1	16192	0.92	145	100%
	C	8	American Electric Lighting	ATB0 308LED/E15 XXXXX R4 4K/5K	ATB0 SERIES LED 1500MA TYPE 4 4000K/5000K CCT	LED Array	1	16462	0.92	145	100%
	D	12	Holophane	HLWPC2 P40 40K XX T2M	Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type II Medium	LED	1	9981	0.92	95	100%
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☐ NYSDEC APPROVAL	N/A	OF	N/A
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LIGHTING PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-127
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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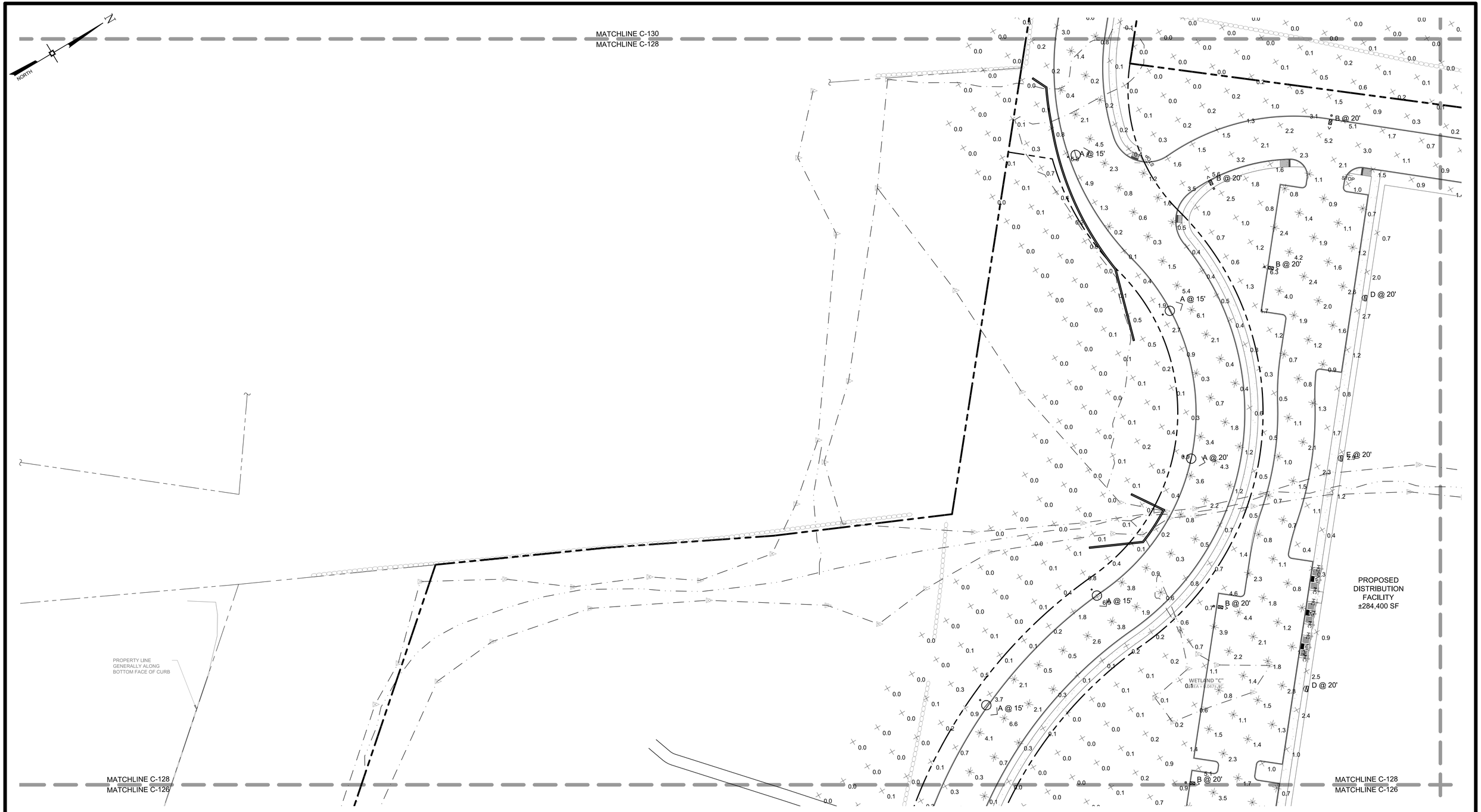

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
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LIGHTING PLAN

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599 EAST MAIN STREET
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ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-128
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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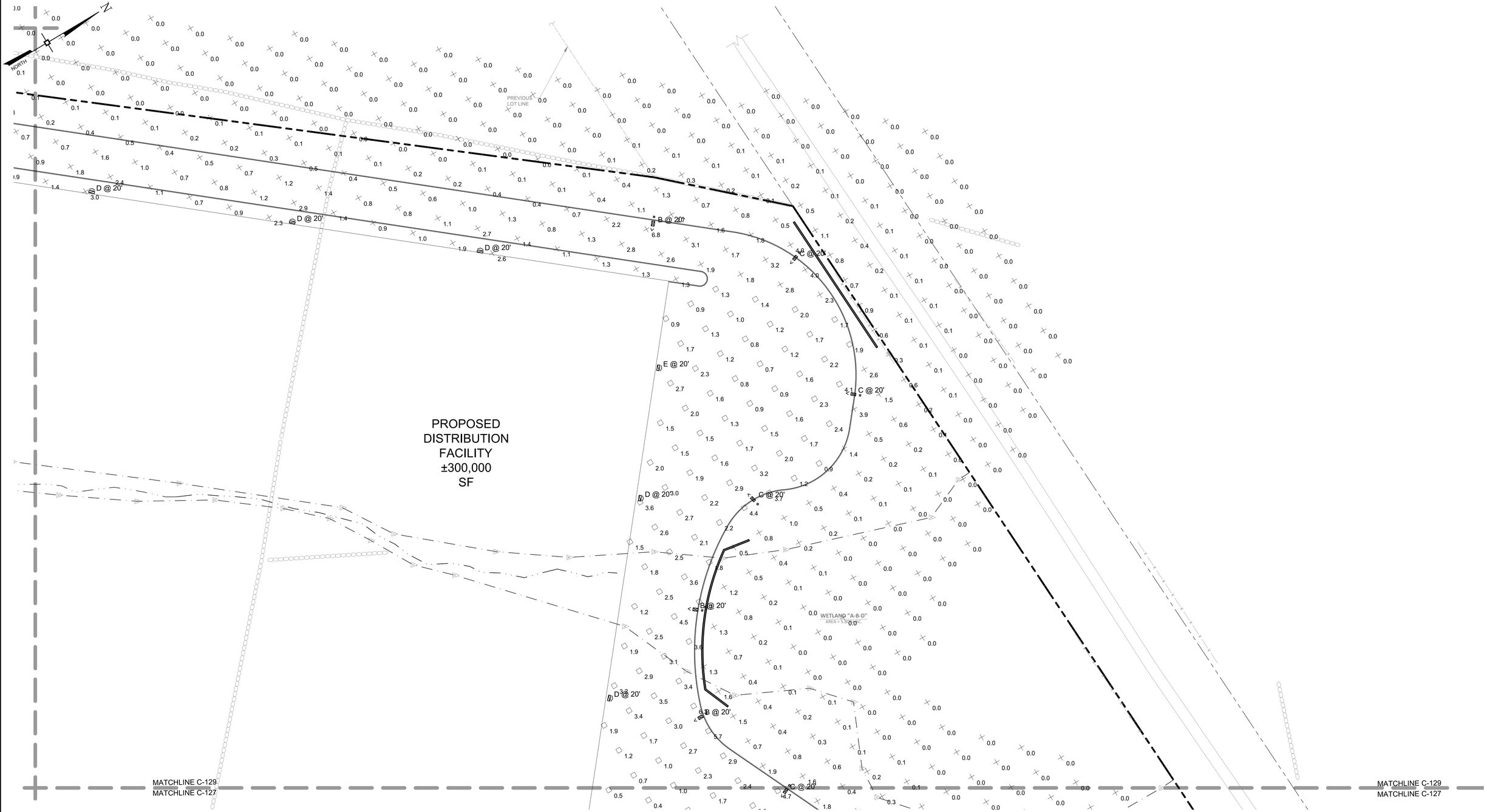

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LIGHTING PLAN

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C-129

TOWN OF WALLKILL PB SHEET 30 OF 39

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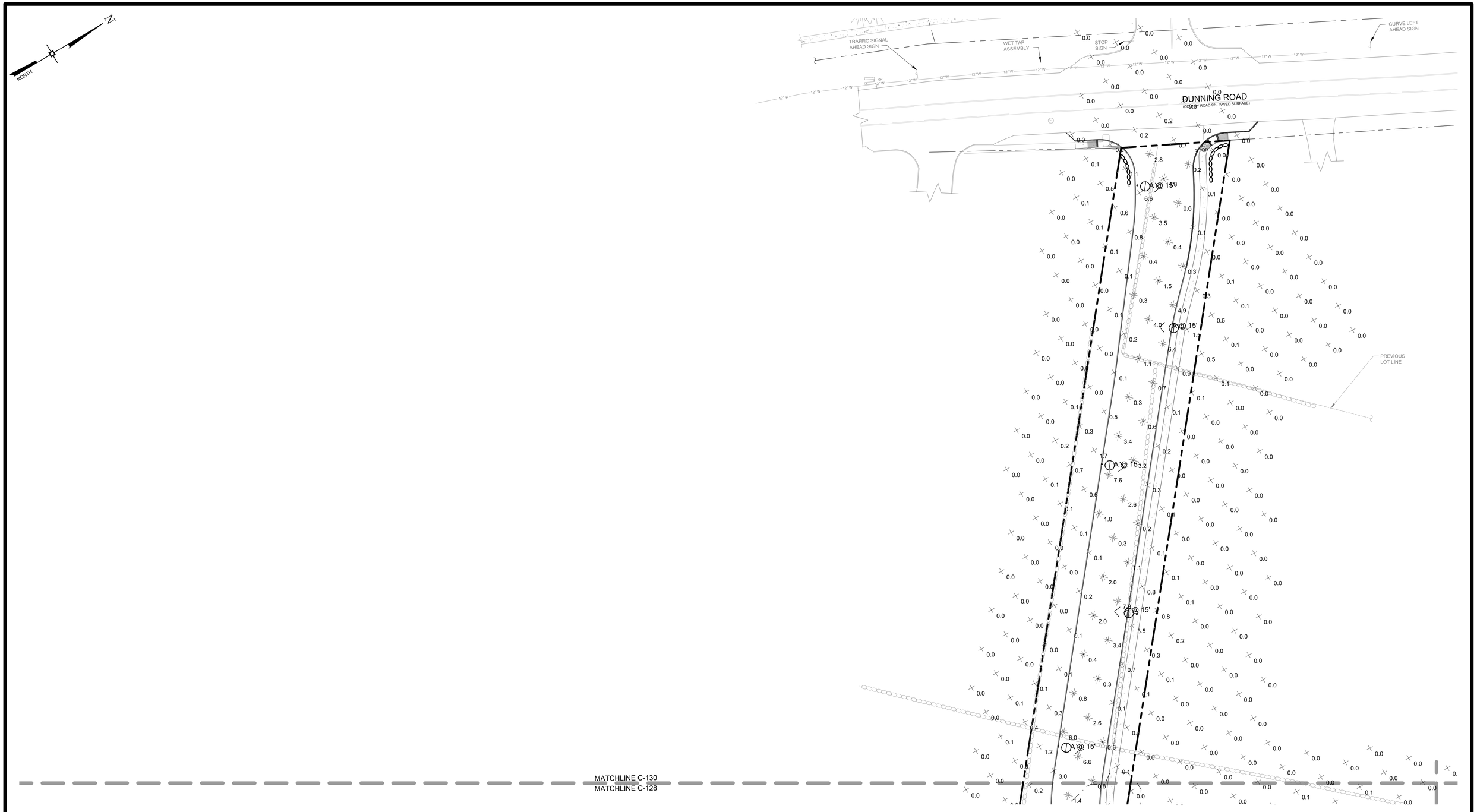

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LIGHTING PLAN

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599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-130
DATE: 01/06/20	SCALE: 1"=30'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

PHASE 1A:

THIS PHASE SHALL INCLUDE THE WETLAND MITIGATION INCLUDING ALL GRADING AND LANDSCAPING WITHIN THE MITIGATION AREA IN ACCORDANCE WITH THE LANDSCAPING PLANS.

PHASE 1B:

THIS PHASE SHALL INCLUDE THE PROPOSED STORMWATER PONDS AND THE PROPOSED ACCESS ROADWAY INCLUDING ALL UNDERGROUND UTILITIES, THE CONTRACTOR SHALL PROVIDE CAPPED STUBS OUTSIDE OF THE PAVEMENT FOR CONNECTION IN SUBSEQUENT PHASES.

PHASE 1C:

THIS PHASE SHALL INCLUDE ALL REMAINING SITE WORK INCLUDING BUT NOT LIMITED TO LIGHTING, LANDSCAPING, UTILITY SERVICES, BUILDING CONSTRUCTION, ETC.

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

100 0 50 100 200

1 inch = 100 ft.

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CONSTRUCTION SEQUENCING PLAN

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-131
DATE: 01/06/20	SCALE: 1"=100'	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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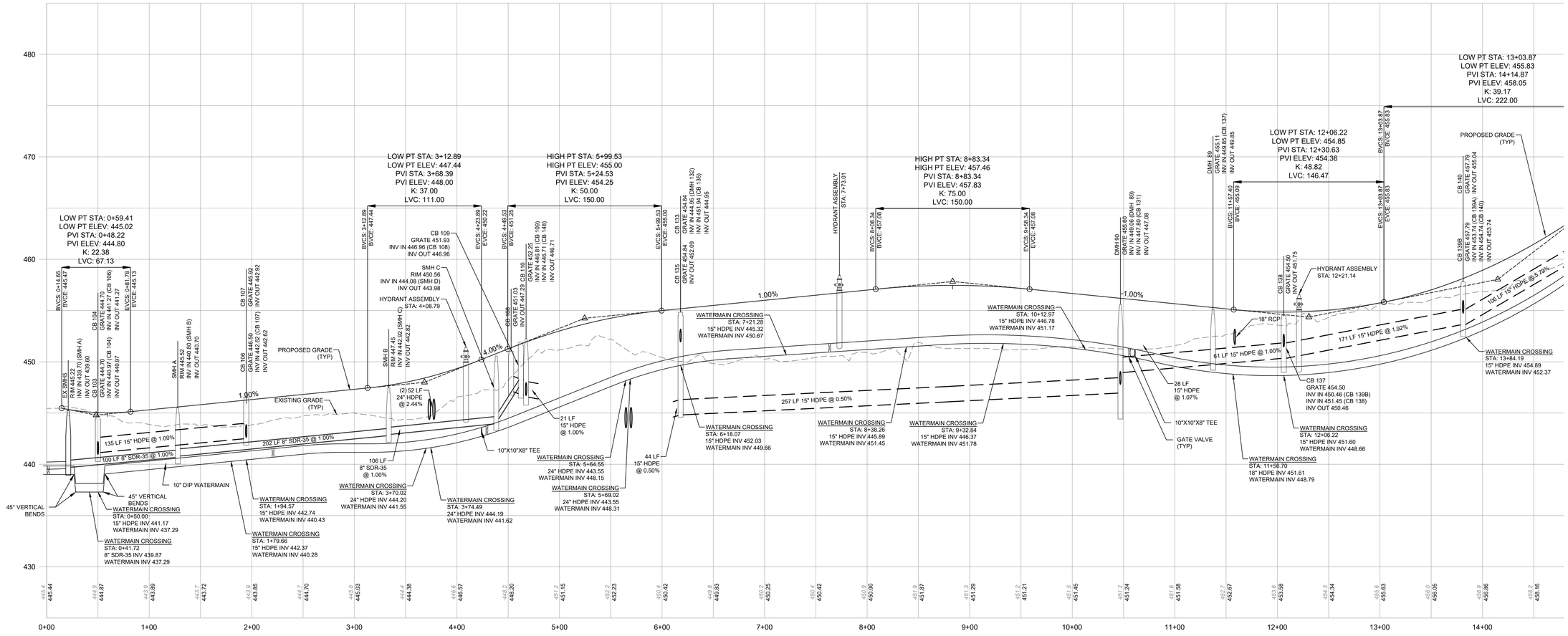
Date Printed: Jun 04, 2020, 5:23pm



ROAD A PROFILE

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	33	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
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ROAD & UTILITY PROFILE

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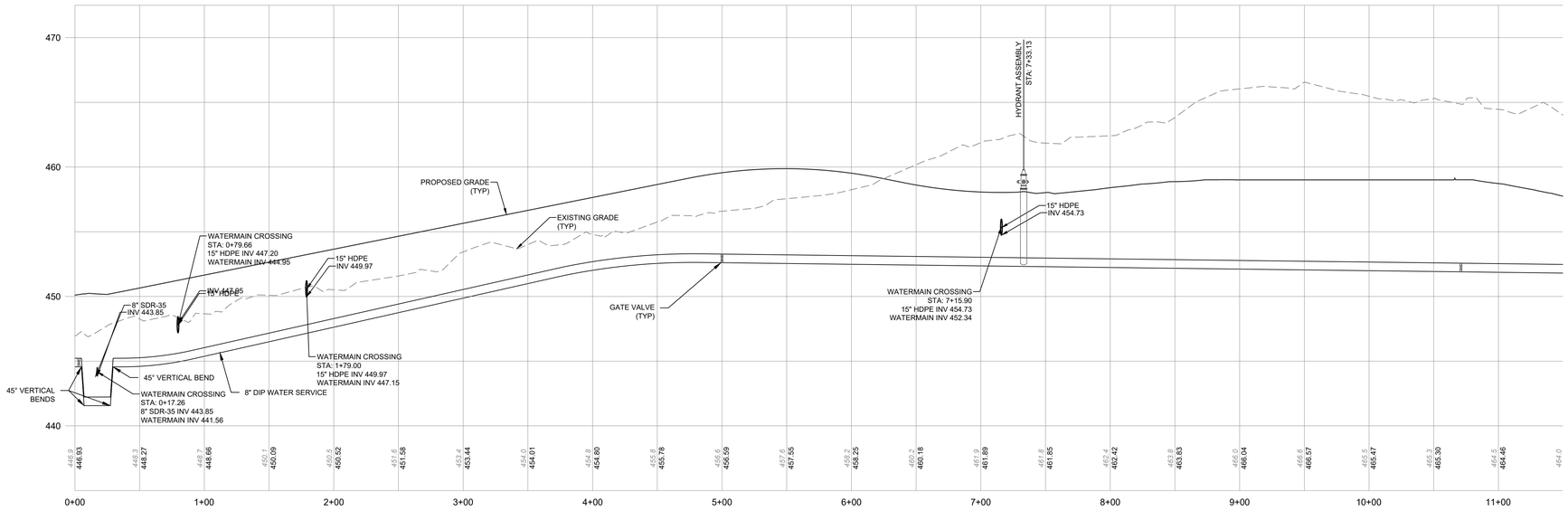
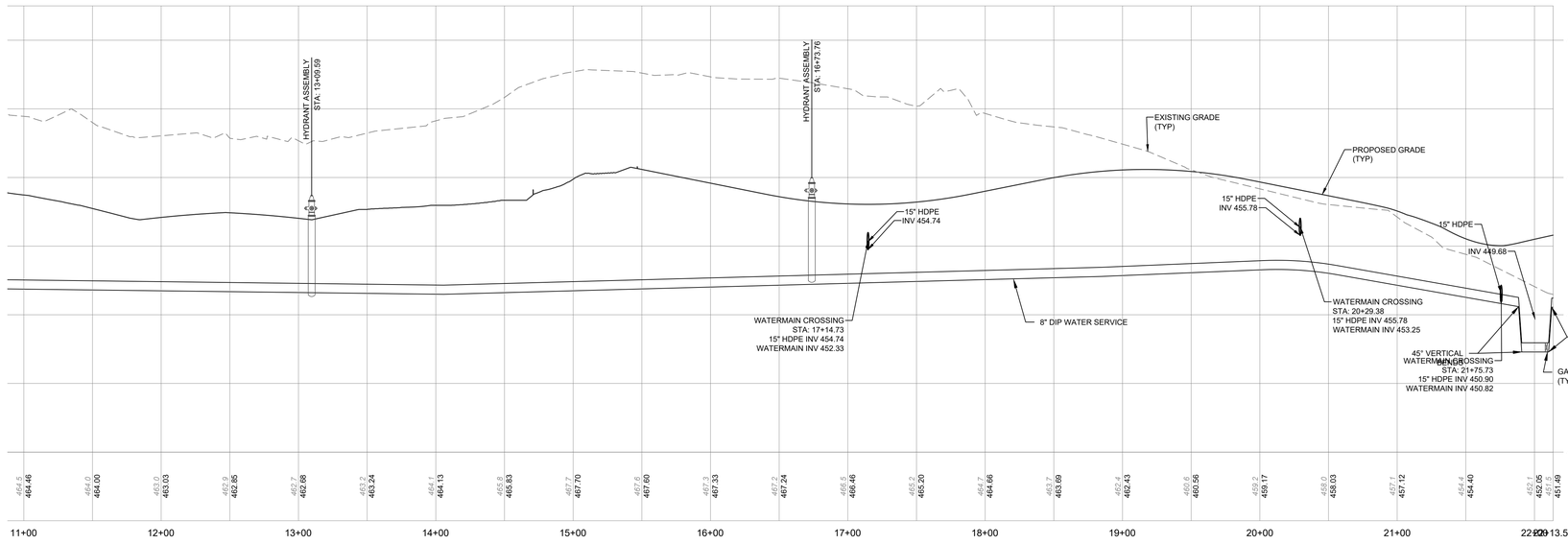
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

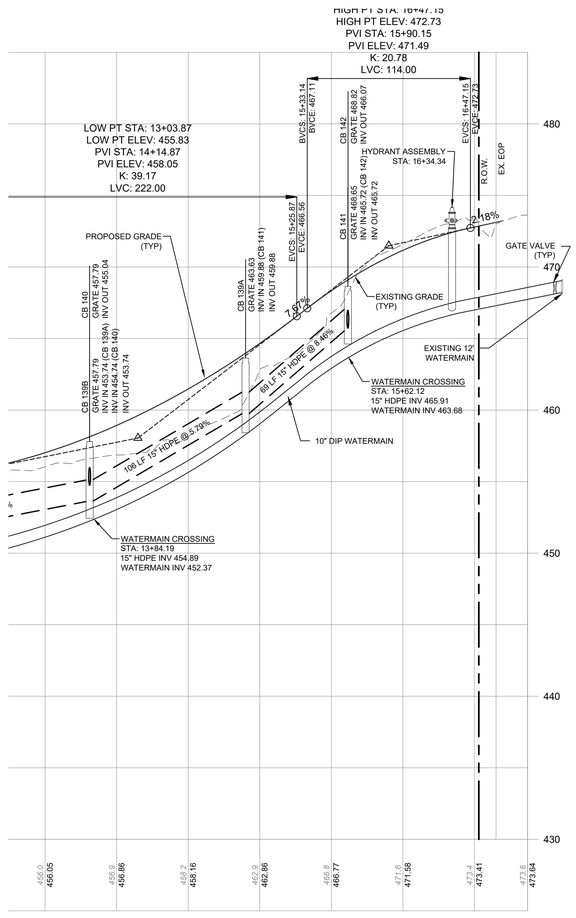
JOB #:	DRAWN BY:	
980.1504	JS	C-201
DATE: 01/06/20	SCALE: 1"=50' H, 1" = 5' V	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	



WATER SERVICE PROFILE 0+00 - 11+50



WATER SERVICE PROFILE 11+50 - END



ROAD A PROFILE

No.	DATE	DESCRIPTION
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DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
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☑ PLANNING BOARD APPROVAL	34	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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NEW YORK LICENSE # 080023

50 0 25 50 100
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ROAD & UTILITY PROFILE

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-202
DATE: 01/06/20	SCALE: 1"=50' H, 1" = 5' V	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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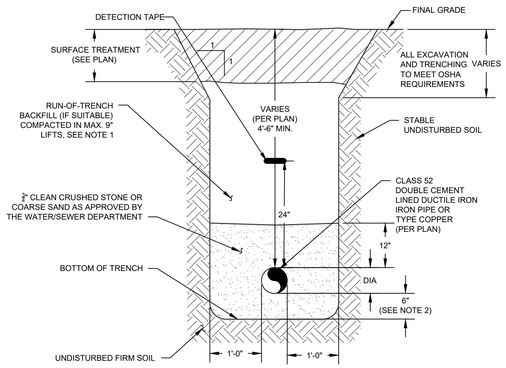
Date Printed: Jun 04, 2020, 5:25pm

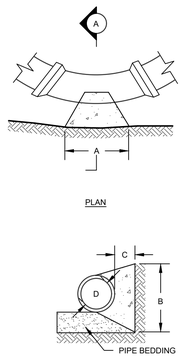


NOTES:

1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC; SHALL BE WITH NYSDOT ITEM #4 FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 9" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
2. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE TRENCH, THE PIPE BEDDING SHALL BE INCREASED TO 8" THICK.

WATER PIPE TRENCH

SCALE: NTS



HORIZONTAL BEND

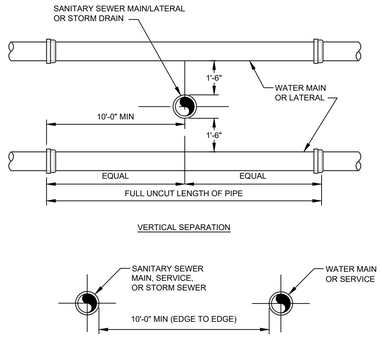
BEND		4"	6"	8"	10"	12"
11 1/4" BEND	A	18"	18"	24"	30"	33"
	B	12"	12"	18"	24"	24"
	C	12" (MIN)				
22 1/2" BEND	A	18"	18"	24"	30"	33"
	B	12"	12"	18"	24"	24"
	C	12" (MIN)				
45° BEND	A	24"	24"	30"	36"	45"
	B	18"	18"	24"	30"	33"
	C	12" (MIN)				
90° BEND	A	30"	30"	42"	54"	66"
	B	24"	24"	30"	36"	42"
	C	12" (MIN)				

NOTES:

1. ALL CONCRETE TO BE 3000 PSI
2. TWO FORMS OF RESTRAINTS ARE REQUIRED ON ALL BENDS, OFFSETS, DEAD ENDS, AND/OR TEMPORARY DEAD ENDS FOR FUTURE EXPANSION.
3. THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM.

THRUST BLOCK

SCALE: NTS

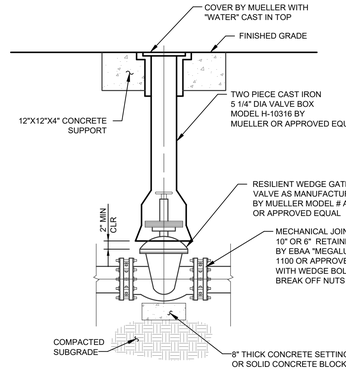


NOTE:

NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS

SCALE: NTS

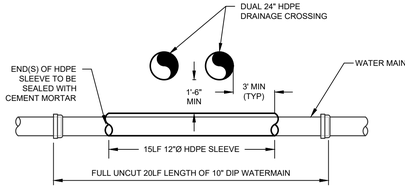


NOTES:

1. ALL VALVES TO INCLUDE MEGA-LUG RETAINER GLANDS AND BE RODDED BACK TO THE ADJACENT TEE IN THE WATERMAIN. INLINE VALVES NEED NOT BE RODDED. CONTRACTOR TO UTILIZE ¾" DIA. GALVANIZED STEEL RODS WITH MALLEABLE IRON NUTS AT 180° SPACING.
2. WATERMAIN VALVES FOR FOUR INCH THROUGH FORTY EIGHT INCH SHALL BE RESILIENT WEDGE GATE VALVES AS MANUFACTURED BY MUELLER, MODEL #A-2360. VALVES SHALL BE PROVIDED WITH AN EXTENSION SERVICE BOX TO GRADE.
3. MAIN LINE VALVES TO BE SPACED TO NO FURTHER THAN 500 FEET APART IN COMMERCIAL DISTRICTS AND 800 FEET IN OTHER DISTRICTS.

VALVE AND VALVE BOX

SCALE: NTS



NOTES:

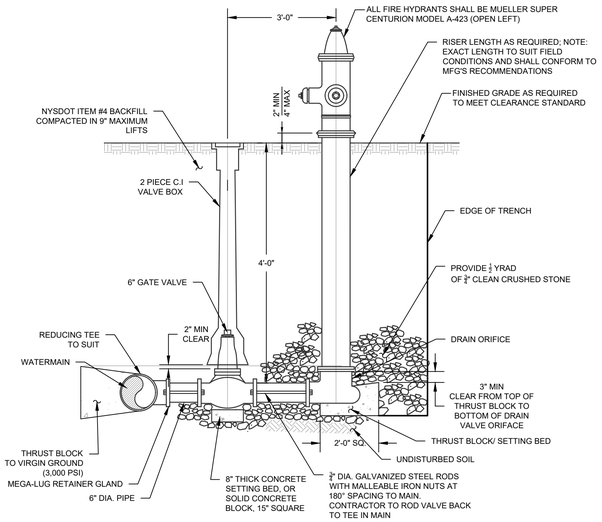
1. THE 10" DIP WATERMAIN SHALL BE INSTALLED AT THE INVERT OF HTE 12" HDPE SLEEVE.
2. THE 12" HDPE SLEEVE SHALL MAINTAIN ALL MINIMUM SEPARATION REQUIREMENTS OF THE DIP WATERMAIN TO OTHER UTILITIES.
3. THE ENDS OF THE 12" HDPE SLEEVE SHALL BE SEALED WITH CEMENT MORTAR AROUND THE 10"DIP AFTER INSTALLATION.

SLEEVED WATERMAIN

SCALE: NTS

WATER SYSTEM NOTES

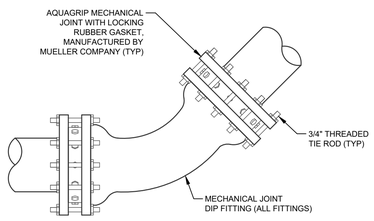
1. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING WATER AND SEWER UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO CALL UNDERGROUND MARK-OUT AT LEAST 2 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT 1-800-962-7962 FOR COMPLETE UTILITIES MARKOUT.
3. CONTRACTOR TO CONTACT TOWN OF WALLKILL WATER DEPARTMENT AT (845) 342-1668 AT LEAST 2 DAYS PRIOR TO CONSTRUCTION.
4. WATER MAIN 4" OR LARGER TO BE CLASS 52 BITUMINOUS COATED DOUBLE CEMENT LINED DUCTILE IRON PIPE.
5. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY OF ANY DEVIATION FROM HORIZONTAL OR VERTICAL ALIGNMENTS WITH REGARDS TO EXISTING UTILITIES BEFORE PROCEEDING.
6. A CERTIFIED AS BUILT MAP OF THE WATER SYSTEM IMPROVEMENTS SHALL BE PROVIDED TO THE TOWN OF WALLKILL WATER DEPARTMENT BY A LICENSED DESIGN PROFESSIONAL.
7. THIS PROJECT HAS DEMONSTRATED AN AVAILABLE FLOW OF 2376 GALLONS PER MINUTE WHILE MAINTAINING A MINIMUM OF 20 PSI AT ALL POINTS IN THE DISTRIBUTION SYSTEM. THIS VALUE SHOULD BE COMPARED TO THE NEEDED FIRE FLOW (NFF) FOR THE PROPOSED CONSTRUCTION IN ACCORDANCE WITH THE INSURANCE SERVICES OFFICE (ISO) GUIDELINES, PER THE RECOMMENDED STANDARDS FOR WATER WORKS (NYS SANITY CODE PART 5, APPENDIX 5-A). THE NEEDED FIRE FLOW FOR THE PROPOSED CONSTRUCTION IS 500 GPM AAS PER ISO GUIDELINES.
8. ALL PIPE, FIXTURES AND FITTINGS MUST COMPLY WITH THE FEDERAL "SAFE DRINKING WATER ACT", SECTION 1417 WHICH REQUIRES ALL SURFACES IN CONTACT WITH POTABLE WATER CONTAIN NO MORE THAN 0.25% LEAD BY WEIGHT.
9. THE TOWN OF WALLKILL COMMISSIONER OF PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST BE INFORMED OF ANY HYDROSTATIC OR BACTERIOLOGICAL TESTING TO PERMIT THE TESTING TO BE WITNESSED.
10. THE TOWN OF WALLKILL COMMISSIONER OR PUBLIC WORKS OR HIS DESIGNATED REPRESENTATIVE MUST ACCEPT HYDROSTATIC AND BACTERIOLOGICAL TEST RESULTS AS ADEQUATE.
11. THE PROPOSED WATERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL TOWN OF WALLKILL REQUIREMENTS. THE PROPOSED WATERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.



NOTES:

1. HYDRANTS SHALL BE DRY-BARREL HYDRANTS, TYPE MUELLER SUPER CENTURION, IN ACCORDANCE WITH AWWA C502. HYDRANTS SHALL HAVE A MAIN VALVE SIZE OPENING OF FIVE INCHES NORMAL, ONE FOUR-AND-A-HALF INCH NST PUMPER NOZZLE, TWO TWO-AND-A-HALF INCH NST NOZZLES, A ONE-AND-ONE-HALF INCH PENTAGON OPERATING NUTS AND A SIX-INCH MECHANICAL JOINT INLET SHOW CONNECTION WITH ACCESSORIES. THE HYDRANT DIRECTION OF OPENING SHALL BE LEFT (COUNTERCLOCKWISE).
2. ALL TEES, VALVES AND FITTINGS TO INCLUDE RESTRAINT IN THE FORM OF MEGA-LUG RETAINER GLANDS AND RODS.
3. HYDRANT SPACING MAY RANGE FROM 350' TO A MAXIMUM OF 600'.

HYDRANT ASSEMBLY



NOTES:

1. FOR ALL "T"S, NO UNRESTRAINED JOINTS WITHIN 5 FEET OF FITTING

2. ALL FITTINGS ARE TO BE RESTRAINED WITH AQUAGRIP MECHANIC JOINTS WITH LOCKING RUBBER GASKETS AS MANUFACTURED BY MUELLER COMPANY. IN ADDITION ALL PIPE JOINTS SHALL BE RESTRAINED AS FOLLOWS:

10" DIP RESTRAINTS*

45°	ALL JOINTS WITHIN 11 FEET OF FITTING
22.5°	ALL JOINTS WITH IN 6 FEET OF FITTING
11.25°	ALL JOINTS WITHIN 3 FEET OF FITTING
10X10 TEE	ALL 10" BRANCH JOINTS WITHIN 52 FEET OF FITTING
DEAD END (BLIND FLANGE)	ALL JOINTS WITHIN 57 FEET OF FITTING

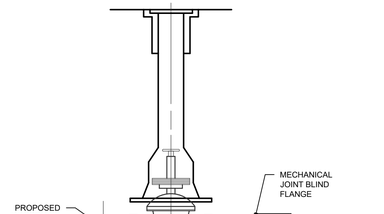
6" DIP RESTRAINTS*

45°	ALL JOINTS WITHIN 8 FEET OF FITTING
22.5°	ALL JOINTS WITHIN 4 FEET OF FITTING
11.25°	ALL JOINTS WITHIN 2 FEET OF FITTING
6X10 TEE	ALL 10" BRANCH JOINTS WITHIN 54 FEET OF FITTING
6X6 TEE	ALL 6" BRANCH JOINTS WITHIN 23 FEET OF FITTING
DEAD END (BLIND FLANGE)	ALL JOINTS WITHIN 32 FEET OF FITTING

* ASSUMED: 4'-6" COVER, 150 PSI TEST PRESSURE, AND 2.0 TO 1 FACTOR OF SAFETY.

PIPE RESTRAINT DETAIL

SCALE: NTS

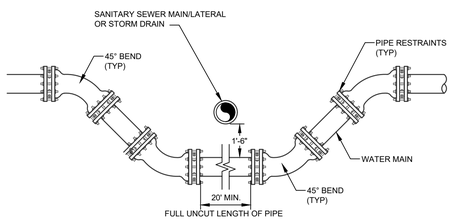


NOTE:

1. VALVE TO REMAIN CLOSED UNTIL FUTURE PHASE WATERMAIN HAS BEEN SAMPLED AND PRESSURE TESTED.

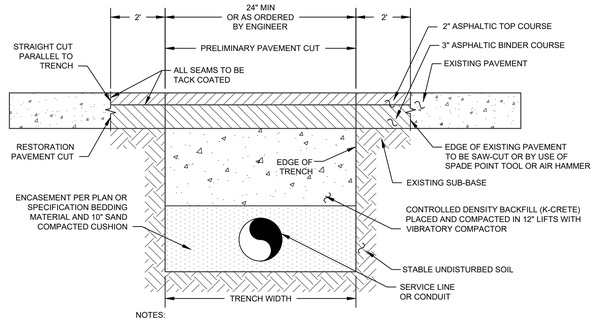
WATER PIPE CAP

SCALE: NTS



WATER MAIN OFFSET WITH RESTRAINTS

SCALE: N.T.S.



NOTES:

1. K-KRETE OR EQUIVALENT BACKFILL PLACED AND COMPACTED IN 10" LIFTS WITH VIBRATORY COMPACTOR

UTILITY PIPE TRENCH - WITHIN COUNTY R.O.W.

SCALE: N.T.S.

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☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
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NEW YORK LICENSE # 080023

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DETAILS

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980.1504	JS	C-301
DATE: 01/06/20	SCALE: AS NOTED	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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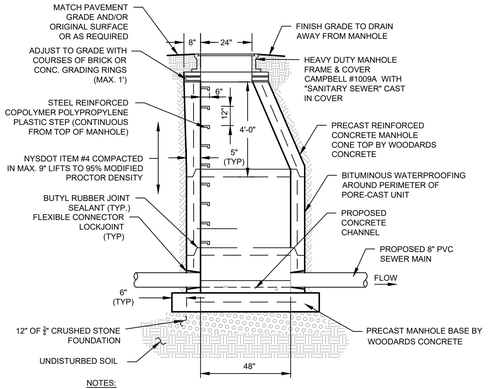
Date Printed: Jun 04, 2020, 5:26pm



NOTES:

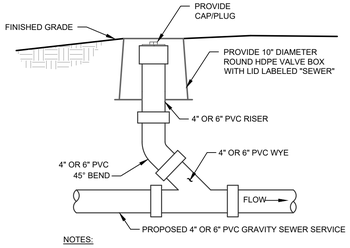
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS.
2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
3. ALL MANHOLE SECTIONS TO CONFORM WITH ASTM SPECIFICATION C-478
4. ALL MANHOLES WITHIN PAVEMENT AREAS SHALL BE DESIGNED TO WITHSTAND HS-25 LOADING.

SEWER MANHOLE

SCALE: NTS

SEWER SYSTEM NOTES

1. ALL GRAVITY SEWER PIPE SHALL BE SDR-35 PVC AND ALL FORCEMAIN SEWER PIPE SHALL BE SDR-26 PVC.
2. IF GROUNDWATER IS ENCOUNTERED DURING TRENCH EXCAVATION, THE CONTRACTOR SHALL DE-WATER THE TRENCH PRIOR TO INSTALLATION. ALL DE-WATERING OPERATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR TO VERIFY INVERT ELEVATIONS OF EXISTING SEWER MAIN PRIOR TO COMMENCEMENT OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT.
4. CONTRACTOR SHALL CALL THE TOWN OF WALLKILL SEWER DEPARTMENT (845-342-1668) AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS.
5. CONTRACTOR SHALL CALL UNDERGROUND MARKOUT AT 1-800-962-7962 AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF SEWERS FOR COMPLETE UTILITY MARKOUT.
6. THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH TOWN OF WALLKILL REQUIREMENTS. THE PROPOSED SEWERMAIN SHALL BE OWNED AND MAINTAINED BY THE PROJECT SPONSOR.
7. THE PROPOSED SEWERMAIN SHALL BE INSTALLED IN ACCORDANCE WITH ALL TOWN OF WALLKILL TOWN CODE SECTION 194-26, INCLUDING BUT NOT LIMITED TO VACUUM TESTING OF MANHOLES, LOW PRESSURE AIR TEST OF MAINS AND LATERALS, AND VIDEO RECORDING OF ALL MAINS.

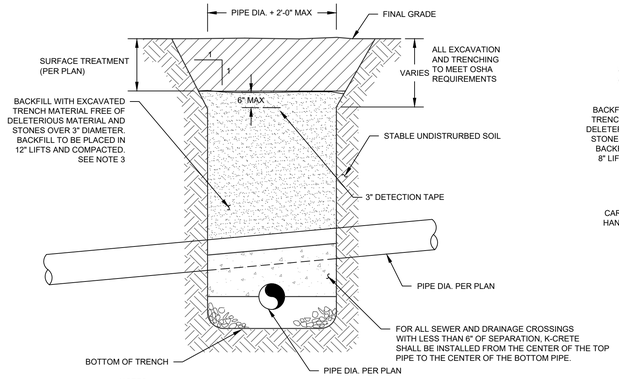


NOTES:

1. CLEANOUTS SHALL BE SPACED AT INTERVALS NO MORE THAN 75 FEET APART.

TYPICAL CLEANOUT

SCALE: NONE

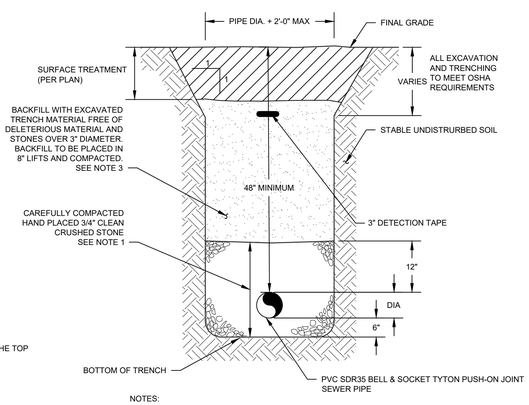


NOTES:

1. ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
2. ALL SEWER MAINS SHALL BE 8" OR 10" SDR 35 PVC. ALL SEWER HEADERS SHALL BE 6" SDR 35 AND ALL SEWER LATERAL TO BE 4" SDR 35 PVC.
3. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC; SHALL BE WITH ITEM 4 (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

SEWER & DRAINAGE CROSSING WITH LESS THAN 6" SEPARATION BETWEEN PIPES

SCALE: NTS



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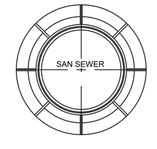
1. ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
2. ALL SEWER MAINS SHALL BE 8" OR 10" SDR 35 PVC. ALL SEWER HEADERS SHALL BE 6" SDR 35 AND ALL SEWER LATERAL TO BE 4" SDR 35 PVC.
3. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC; SHALL BE WITH ITEM 4 (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

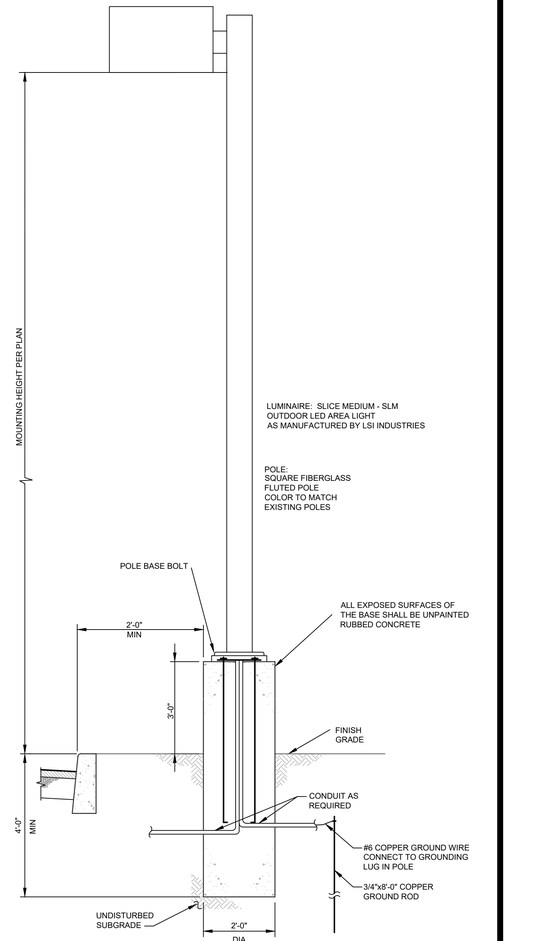
SEWER PIPE TRENCH

SCALE: NTS



SEWER MANHOLE COVER

SCALE: NTS



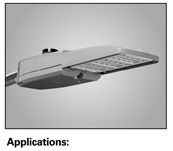
LIGHT

SCALE: NTS

DLC Premium — Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

Autobahn Series ATB0
Roadway Lighting

PRODUCT OVERVIEW



Features:

OPTICAL

Same Light: Performance is comparable to 70-250W HPS roadway luminaires.

White Light: Correlated color temperature - 4000K, 70 CRI minimum, 3000K, 70 CRI minimum or optional 5000K, 70 CRI minimum.

Unique IP66 rated LED light engines provided 0% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing. Available in Type II, III, IV, and V roadway distributions.

ELECTRICAL

Expected Life: LED light engines are rated >100,000 hours at 25°C, L70. Electronic driver has an expected life of 100,000 hours at a 25°C ambient.

Lower Energy: Saves an expected of 40-60% over comparable HID luminaires.

Robust Surge Protection: Three different surge protection options provide a minimum of ANSI C136.2 10kV/5kA protection. 20kV/10kA protection is also available.

MECHANICAL

Includes standard AEL lineman-friendly features such as tool-less entry, 3 station terminal block and quick disconnects. Bubble level located inside the electrical compartment for easily leveling at installation.

Rugged die-cast aluminum housing and door are polyester powder-coated for durability and corrosion resistance. Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe creepage rating of 7 (per ASTM D1654) after over 5000 hours exposure to salt fog chamber (operated per ASTM B117).

Mast arm mount is adjustable for arms from 1-1/4" to 2" (1-5/8" to 2-3/8" O.D.) diameter. Provides a 3G vibration rating per ANSI C136.31

Wildlife shield is cast into the housing (not a separate piece).

CONTROLS

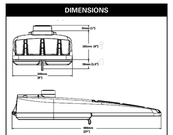
NEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 7 pin receptacle optionally available.

Premium solid state locking style photocontrol - PCSS (10 year rated life) Extreme long life solid state locking style photocontrol - PCLL (20 year rated life).

Multi-level dimming available to provide scheduled dimming as specified by the customer.

Optional onboard Adjustable Output module allows the light output and input wattage to be modified to meet site specific requirements, and also can allow a single fixture to be flexibly applied in many different applications.

DIMENSIONS



STANDARDS

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Color temperatures of ≤ 3000K must be specified for International Dark-Sky Association certification.

Rated for -40°C to 40°C ambient
CSA Certified to U.S. and Canadian standards
Complies with ANSI: C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

Note: Specifications subject to change without notice. Actual performance may differ as a result of end-user environment and application.

AEL American Electric Lighting

HOLOPHANE LEADERS IN LIGHTING SOLUTIONS

HLWPC2
Wallpack® Full Cutoff LED

Catalog Number	
Notes	Type

Mechanical
- Heavy grade A360 cast aluminum (aluminum with <1% copper)
- Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering.
- Mounts to a standard junction box
- Wet location listed
- IP65 rated housing, down light only
- ¾" painted threaded entry/¾" - 14 NPT) on each side and on top, accepts ¾" and ½" conduit
- ¾" threaded plugs are painted on each side
- Vibration tested to 1.5G per ANSI C136.31.

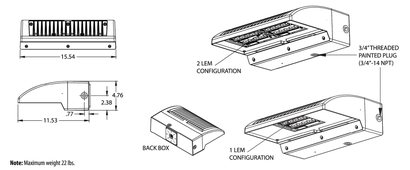
Electrical
- Certified by UL or CSA
- Rated for -40°C (-40°F) minimum ambient
- A programmable electronic driver with 0-10V control leads
- Available in: 120-277V 50/60 Hz and 347-480V 50/60 Hz.
- Standard: 3000K, 4000K and 5000K CCT (+/-7% CRI)
- Optional: >80 CRI (3000K, 4000K and 5000K CCT)
- Internally mounted emergency battery backup for operation in an ambient temperature ranging from -20°C (-4°F) to 35°C (86°F), available with P10 thru P40 performance packages, non CEC compliant
- All surge protection meets ANSI/IEEE C62.41.2 10kV/10kA
- Standard surge protection is 20kV/10kA per ANSI C136.2
- Optional surge protection is 10kV/5kA per ANSI C136.2

Optical
- Light engine housing is IP66 rated
- Acrylic optical system
  - Type R (Entry), M (medium), R (rectangle) & W (wide)
  - Asymmetric

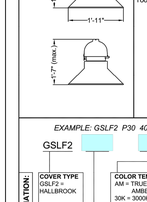
Controls
- Field adjustable output (AO)
- Button style photocontrol (PE)
- Motion sensor & ambient photocontrol combination for mounting low (8-15') (MASL) and high (15-30') (MASH) mounting heights

Certification and Standards
- Luminaire is CSA listed, US and Canada
- Suitable for operation in an ambient temperature up to 40°C/104°F per UL or CSA certification
- Design lights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/ QPL to confirm which versions are qualified.
- LM-79 compliant
- The projected LED Lumen Maintenance shall be based only on IES LM-80-08 and TM-21

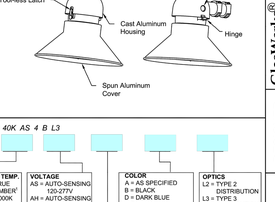
Warranty
5 year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_Conditions.aspx
Note: Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.



Note: Maximum weight 22 lbs.



Maximum Effective Projected Area - .84 ft²
Maximum Weight - 42 lbs.



GlasWerks® Flat LED 2
Hallbrook®
DESIGNER OUTDOOR
HOLOPHANE LEADERS IN LIGHTING SOLUTIONS

EXAMPLE: GSLF2 P30 40K AS 4 B L3

ORDERING INFORMATION:

GSLF2						
COVER TYPE GSLF2 = HALLBROOK	**COLOR TEMP:** AM = TRUE AMBER[1] 30K = 3000K 40K = 4000K 50K = 5000K	**VOLTAGE** AS = AUTO-SENSING 120-277V AH = AUTO-SENSING 347-480V	**COLOR** A = AS SPECIFIED B = BLACK D = DARK BLUE G = GRAY H = GRAPHITE N = GREEN P = PRIME PAINT W = WHITE Z = BRONZE TDC = TIGER DRYLAC COLOR (RAL***) CMC = CUSTOM MATCH COLOR	**OPTICS** L2 = TYPE 2 DISTRIBUTION L3 = TYPE 3 DISTRIBUTION L4 = TYPE 4 DISTRIBUTION L5 = TYPE 5 DISTRIBUTION

LED PERFORMANCE PACKAGE *(SEE PRODUCT OVERVIEW FOR LUMEN PACKAGES)*
P10 = TRUE AMBER LED PACKAGE[1]
P20 = STD DOT-LED PACKAGE
P30 = STD DOT-LED PACKAGE
P40 = STD DOT-LED PACKAGE
P50 = STD DOT-LED PACKAGE
P60 = STD DOT-LED PACKAGE

MOUNTING STYLE
1 = ARM
2 = PENDAND 1.5 NPT
3 = PENDAND 1.25 NPT
4 = QUICK LOCK STEM MOUNT[2]

OPTIONS
CONTROL OPTIONS
AO[3] = FIELD ADJUSTABLE OUTPUT
BL[4] = BI-LEVEL 0-10V DIMMING CONTROL
D[3] = ROAM HARDWARE
FPDxx[5] = FACTORY PROGRAMMED DRIVER (xx = % OF LUMENS OR WATTS)
H[2] = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE ONLY
PCLL[6] = DTL LONG LIFE TWISTLOCK PHOTOCONTROL FOR SOLID-STATE LIGHTING, 120-277V
PCS[6] = DTL TWISTLOCK PHOTOCONTROL, 120-277 VOLT
PND[7] = 0-10V PART-NIGHT DIMMING, INCLUDES BL02 & 120-277V BUTTON PHOTOCONTROL
PSC[7] = SHORTING CAP
P34[7] = DTL TWISTLOCK PHOTOCONTROL 347V
P48[7] = DTL TWISTLOCK PHOTOCONTROL 480 VOLT
P5[7] = DIMMING PHOTOCONTROL RECEPTACLE - 5 PIN
P7[7] = DIMMING PHOTOCONTROL RECEPTACLE - 7 PIN
P3E[8] = PREPARED FOR EXTERNAL 3PIN PHOTOCONTROL RECEPTACLE
P5E[8] = PREPARED FOR EXTERNAL 5PIN PHOTOCONTROL RECEPTACLE
P7E[8] = PREPARED FOR EXTERNAL 7PIN PHOTOCONTROL RECEPTACLE

OPTIONS (Cont.)
PRIMME LEAD OPTIONS
L03 = 3 FEET OF PREWIRED LEADS
L10 = 10 FEET OF PREWIRED LEADS
L20 = 20 FEET OF PREWIRED LEADS
L25 = 25 FEET OF PREWIRED LEADS
L30 = 30 FEET OF PREWIRED LEADS

ACCESSORIES
SURGE PROTECTION
SPDPLUGIN = REPLACEMENT SURGE PROTECTOR 120-277V
SPDPLUGIN-48 = REPLACEMENT SURGE PROTECTOR 347-480V
SPDPLUGIN-MOV12 = REPLACEMENT SURGE PROTECTOR, MOV 120-277V
SPDPLUGIN-MOV48 = REPLACEMENT SURGE PROTECTOR, MOV 347/480V

NOTES ARE LOCATED ON PAGE 3

ORDER #:
DRAWN: RAF
DATE: 8/14/2017
PAGE #: LHB_GSLF2

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	36	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.
THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

0 1 2 3
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Achieving Successful Results with Innovative Designs
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MONTGOMERY, NY 12549
Ph: (845) 457-7727
Fx: (845) 457-1899

DETAILS

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #: 980.1504	DRAWN BY: JS	C-302
DATE: 01/06/20	SCALE: AS NOTED	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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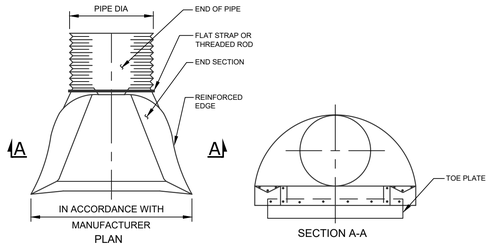
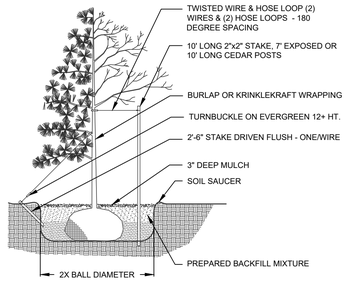
Date Printed: Jun 04, 2020, 5:26pm



NOTE:
RIP-RAP TO BE PROVIDED AT THE END OF THE FLARED END SECTION AS PER PLANS.

FLARED END SECTION

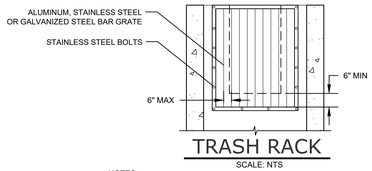
SCALE: NTS



NOTE: OPPOSITE HALF OF DECIDUOUS AND EVERGREEN SIMILAR

PLANTING DETAIL

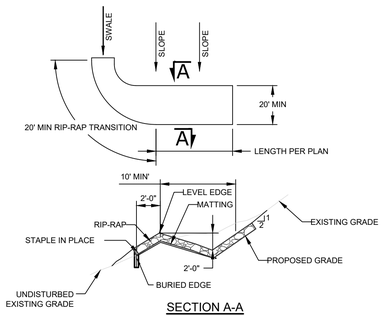
SCALE: NTS



TRASH RACK

SCALE: NTS

NOTES:
1. BAR GRATE TRASH RACKS SHALL BE ALUMINUM, STAINLESS STEEL OR GALVANIZED STEEL, AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
2. TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.



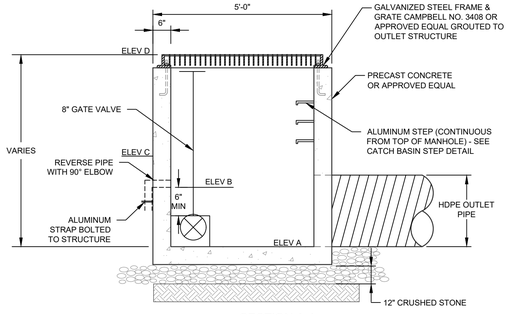
CONSTRUCTION SPECIFICATIONS

1. THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 2'-0" OVER THE LIP AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOD AND BE SECURELY HELD IN PLACE WITH D_{50} = 6" RIP-RAP.
2. ENSURE THAT THE LIP IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
3. THE LIP SHALL BE CONSTRUCTED ON UNDISTURBED SOIL NOT FILL.
4. A 20 FOOT RIP-RAP SWALE TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
5. THE RUNOFF DISCHARGE WILL BE OUTLETED ONTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
6. SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

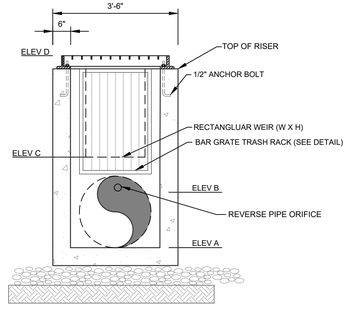
LEVEL FLOW DISSIPATER

SCALE: NTS

PLAN VIEW



SECTION A-A



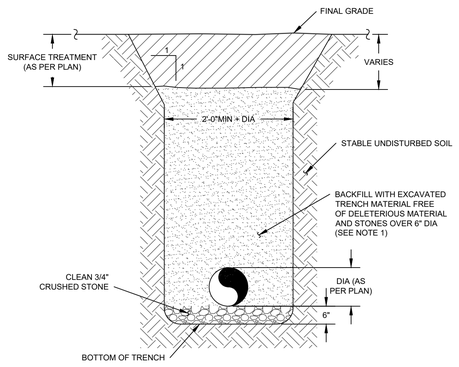
SECTION B-B

POND	CULVERT / ORIFICES ELEV A (Ø)	ELEV B (Ø)	WEIR ELEV C (WIDTH)	RISER ELEV D	SPILLWAY ELEVATION	SPILLWAY LENGTH
(OS 101) POND A3	440.00 (12")	N/A	N/A	443.00	443.50	20'
(OS 144) POND A4-A	444.00 (24")(2)	444.01 (3")	N/A	448.51 (2)	N/A	N/A
(OS 146) POND A4-B	444.00 (24")(2)	444.01 (3")	447.17 (48")	448.00 (2)	449.00	25'

NOTES:
1. FOR LENGTH AND SLOPE OF OUTLET PIPE SEE PLAN.

DETENTION POND OUTLET STRUCTURE

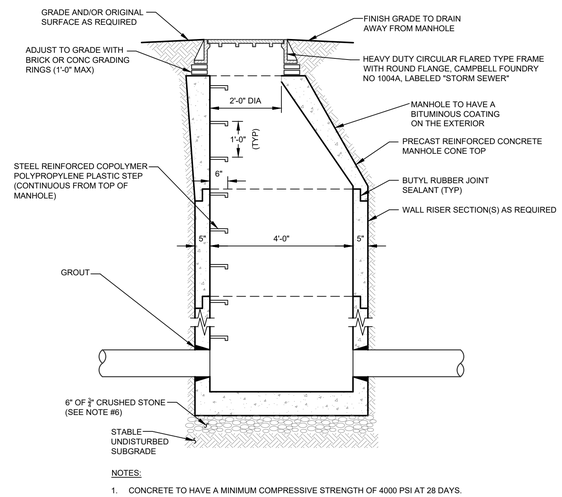
SCALE: NTS



NOTES:
1. ALL BACKFILL WITHIN THE ROAD RIGHT-OF-WAY SHALL BE WITH R.O.B. GRAVEL (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
2. ALL DRAINAGE PIPE SHALL BE HDPE WITH A SMOOTH INVERT.
3. ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.

DRAINAGE PIPE TRENCH

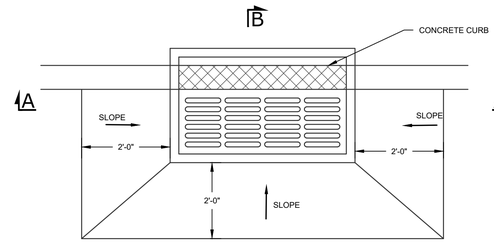
SCALE: NTS



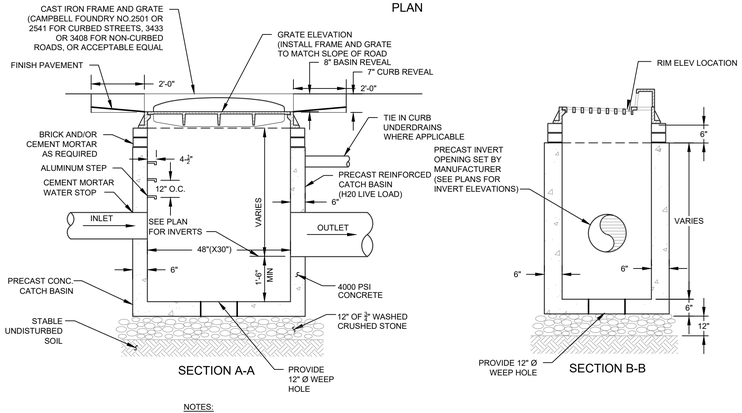
NOTES:
1. CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
2. REINFORCEMENT TO BE IN CONFORMANCE WITH ASTM A615 GRADE 60.
3. CONTRACTOR TO ORDER MANHOLE SECTIONS FROM MANUFACTURER TO MATCH REQUIRED ELEVATIONS AND INVERTS PER PLAN.
4. ANY MANHOLE WITHIN PAVEMENT AREA SHALL BE CAPABLE OF WITHSTANDING HS-20 LOADINGS.
5. PRECAST CONCRETE MANHOLE COMPONENTS BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL .
6. FOR ANY STRUCTURE LOCATED WITHIN THE TOWN RIGHT-OF-WAY, CRUSHED STONE SUB-BASE SHALL BE A MINIMUM OF 12" IN THICKNESS.

DRAINAGE MANHOLE

SCALE: N.T.S.



PLAN



NOTES:
1. BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX 8" LIFTS.
2. PRECAST ALUMINUM STEPS SHALL BE PROVIDED FOR ALL BASINS GREATER THAN FOUR FEET IN DEPTH.
3. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC; SHALL BE WITH R.O.B. GRAVEL (NYSDOT SPEC) FOR THE FULL DEPTH THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
4. PRECAST CONCRETE BASIN BY WOODARDS CONCRETE PRODUCTS OR APPROVED EQUAL.
5. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE OF CATCH BASIN.

CATCH BASIN

SCALE: NTS

DRAINAGE MANHOLE COVER

SCALE: NTS

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	37	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

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NEW YORK LICENSE # 080023

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DETAILS

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-303
DATE: 01/06/20	SCALE: AS NOTED	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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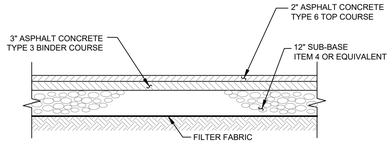
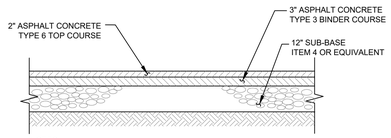
Date Printed: Jun 04, 2020, 5:26pm



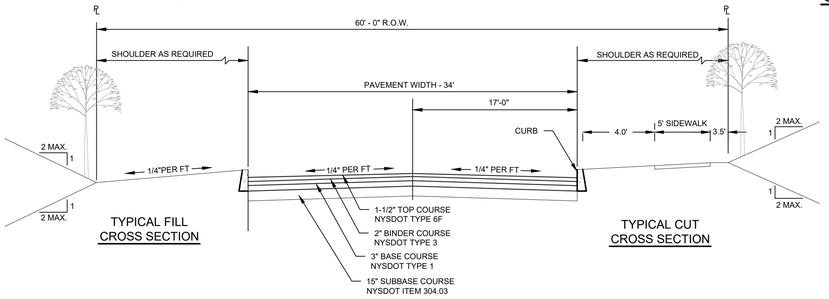
NOTES:
1. TO BE INSTALLED FOR PAVEMENT WITHIN CR-67 R.O.W.
2. ALL SUB-GRADE AND SUB-BASE SHALL BE PROOF ROLLED WITH TOWN ENGINEER PRESENT PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS.

OCDPW PAVEMENT SECTION
SCALE: NTS



NOTES:
1. TO BE INSTALLED FOR PARKING LOT AREA.
2. ALL SUB-GRADE AND SUB-BASE SHALL BE PROOF ROLLED WITH TOWN ENGINEER PRESENT PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS.

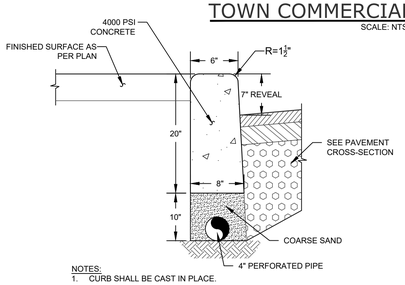
ON-SITE PAVEMENT SECTION
SCALE: NTS



TYPICAL FILL
CROSS SECTION

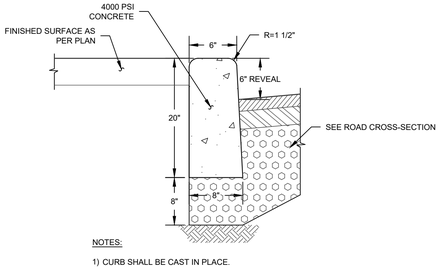
TYPICAL CUT
CROSS SECTION

TOWN COMMERCIAL ROAD SECTION
SCALE: NTS



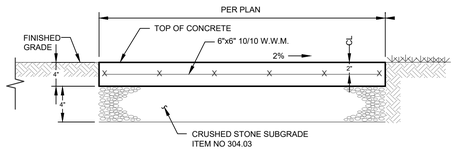
NOTES:
1. CURB SHALL BE CAST IN PLACE.
2. EXPANSION JOINTS OF 1/4" PREFORMED BITCOATED CELLULOSE OR OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS AND WHERE REQUIRED (i.e. CURB BOXES, CATCH BASINS, ETC.)
3. 4" PERFORATED PIPE UNDERDRAINS TO BE USED ONLY WITHIN PROPOSED RIGHT-OF-WAY.

TOWN OF WALLKILL
R.O.W. CONCRETE CURB
SCALE: N.T.S.



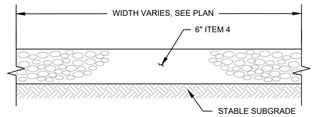
NOTES:
1) CURB SHALL BE CAST IN PLACE.
2) EXPANSION JOINTS OF 1/2" PREFORMED BITCOATED CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 20 FOOT INTERVALS AND WHERE REQUIRED(i.e. AT CURB BOXES, CATCHBASINS, ETC.).

ON-SITE CONCRETE CURB
SCALE: NTS



NOTES:
1. CURB EXPANSION JOINTS OF 1/4" PREFORMED BITUMINOUS COATED CELLULOSE OR SIMILAR MATERIAL AT TEN FOOT INTERVALS.
2. SIDEWALK EXPANSION JOINTS SHALL BE SPACED AT 20' INTERVALS AND SHALL BE 4" DEEP, EDGED WITH 1/4" RADIUS.
3. ALL CONCRETE FOR SIDEWALKS SHALL BE 4000 PSI AT 28 DAYS WITH TRANSVERSE BROOM FINISH AND CROSS SLOPE.
4. ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA STANDARDS. ANY SIDEWALKS GREATER THAN 8% IN GRADE SHALL BE STEPPED IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE REQUIREMENTS.

SIDEWALK/CONCRETE PATIO DETAIL
SCALE: N.T.S.



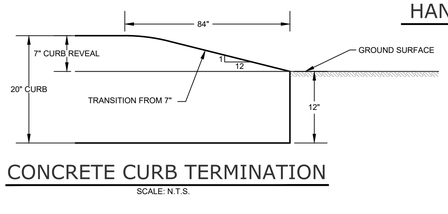
GRAVEL POND ACCESS ROAD
SCALE: NTS

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
NP	NO PARKING ANY TIME	P1-1C	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
STOP	STOP	R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
HC	RESERVED PARKING ON PRIVATE PROPERTY	M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING

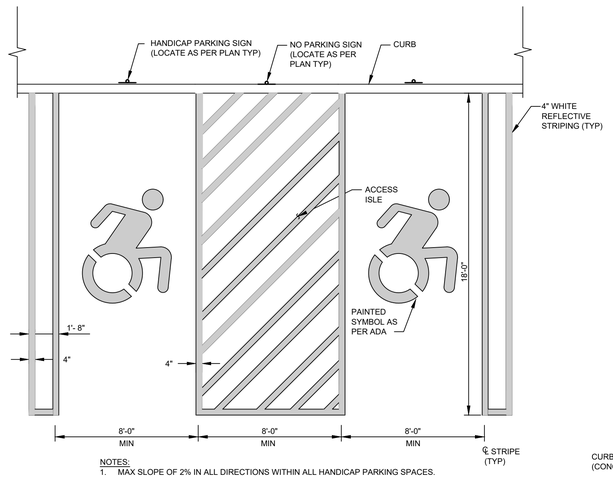
SIGN SCHEDULE
SCALE: N.T.S.

NOTES:
1) CURB SHALL BE CAST IN PLACE.
2) EXPANSION JOINTS OF 3/16" CELLULOSE OR SIMILIAR MATERIAL SHALL BE PLACE AT 10 (TEN) FOOT INTERVALS.
3) TEMPORARY FORM SUPPORTS SHALL BE REMOVED DURING CONCRETE POUR.

CONCRETE CURB -
WITHIN COUNTY R.O.W.
SCALE: NTS

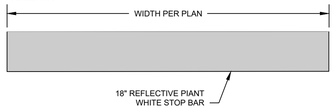


CONCRETE CURB TERMINATION
SCALE: N.T.S.

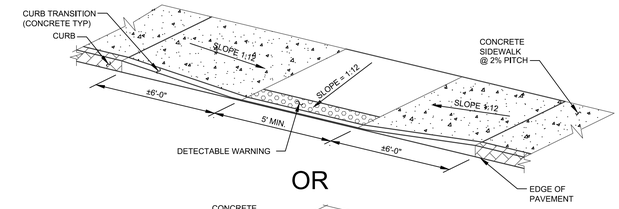


NOTES:
1. MAX SLOPE OF 2% IN ALL DIRECTIONS WITHIN ALL HANDICAP PARKING SPACES.

HANDICAP PARKING SPACES
SCALE: NTS



STOP BAR
SCALE: NTS



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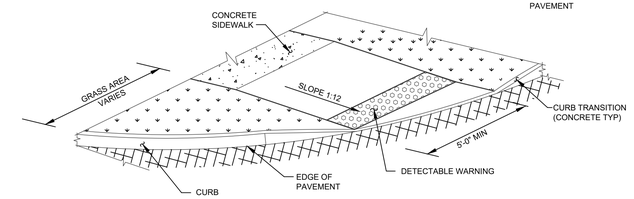

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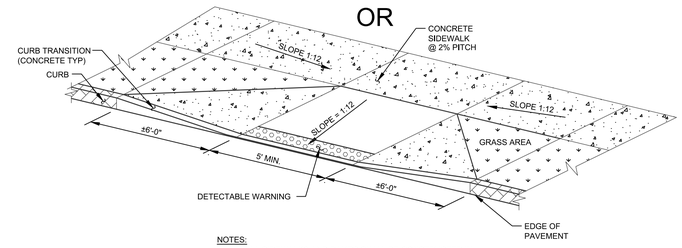
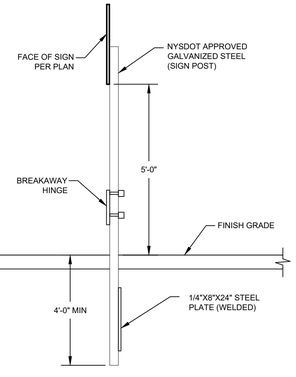


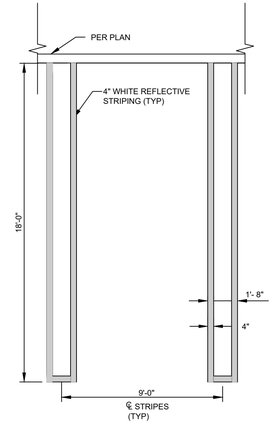
NOTES:
1. ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA STANDARDS.
2. CURB SHALL BE CAST IN PLACE CONCRETE WITH A STRENGTH OF 4,000 PSI AT 28 DAYS

HANDICAMP RAMP
SCALE: NTS

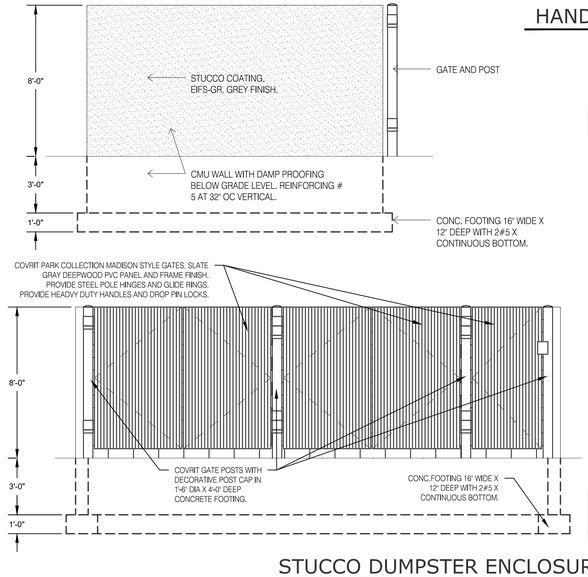


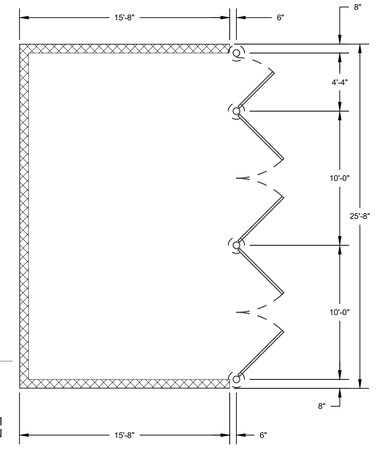
NOTES:
1. ALL ASSEMBLY HARDWARE TO BE CAST ALUMINUM WITH ALUMINUM BOLTS.
2. ALL SIGNS SHALL CONFORM TO ALL NYSDOT AND MUTCD REQUIREMENTS.

SIGN POST
SCALE: NTS



PARKING SPACE
SCALE: NTS





STUCCO DUMPSTER ENCLOSURE
SCALE: NTS

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	38	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.
THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

0 1 2 3
ORIGINAL SCALE IN INCHES

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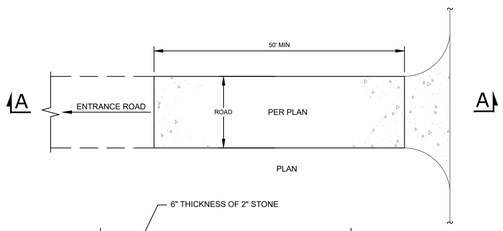
DETAILS

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-304
DATE: 01/06/20	SCALE: AS NOTED	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

Z:\980.1504 - RDM\Details.dwg
Date Printed: Jun 05, 2020, 11:11am

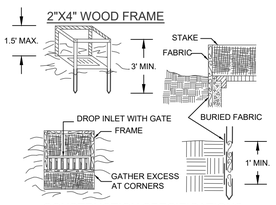


NOTES:

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
4. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRED PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
5. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
6. PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: NTS

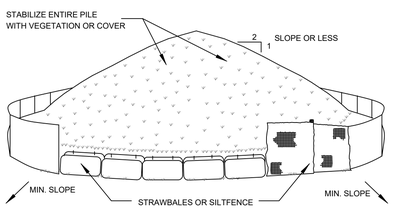


CONSTRUCTION SPECIFICATIONS

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUN DRAINAGE AREA 1 ACRE

FILTER FABRIC DROP INLET PROTECTION

NOT TO SCALE

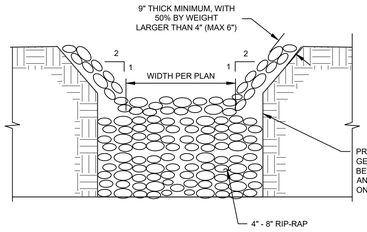


NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED A WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILTFENCE.

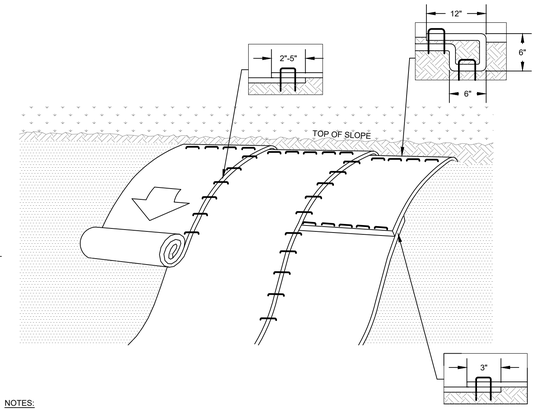
SOIL STOCKPILING

SCALE: NTS



OVERFLOW WEIR(S)

SCALE: NTS

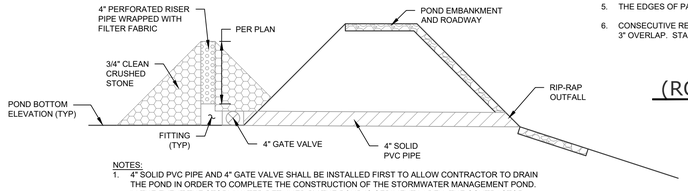


NOTES:

1. ROLLED EROSION CONTROL PRODUCT (RECP'S) SHALL BE USED ON ALL CONSTRUCTED SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL.
2. PREPARATION OF THE SOIL INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED SHALL BE COMPLETED PRIOR TO INSTALLATION OF ANY RECP'S.
3. INSTALL RECP - NORTH AMERICAN GREEN BIONET S150BN OR APPROVED EQUAL. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIAMTELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACE APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
4. ROLL THE RECP'S DOWN THE SLOPE OR HORZONTALLY ACROSS THE SLOPE. ALL RECP'S MUST BE SECURLY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE PRODUCT'S STAPLE PATTERN GUIDE.
5. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" TO 5" OVERLAP DEPENDING ON RECP'S TYPE.
6. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIAMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE RECP'S WIDTH.

SLOPE STABILIZATION (ROLLED EROSION CONTROL PRODUCT)

SCALE: NTS

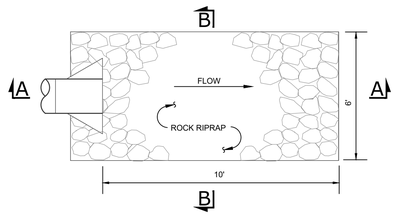


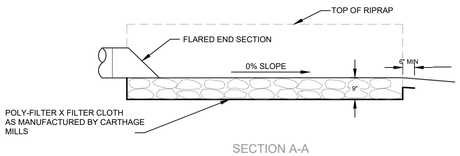
NOTES:

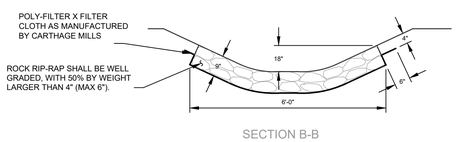
1. 4" SOLID PVC PIPE AND 4" GATE VALVE SHALL BE INSTALLED FIRST TO ALLOW CONTRACTOR TO DRAIN THE POND IN ORDER TO COMPLETE THE CONSTRUCTION OF THE STORMWATER MANAGEMENT POND. IN THE EVENT THE STORMWATER DETAINED BY THE POND IS SEDIMENT LADEN, THE CONTRACTOR SHALL CLOSE THE VALVE AND PUMP THE STORMWATER TO A SUITABLE BMP.
2. ONCE THE CONSTRUCTION OF THE ENTIRE PROJECT IS COMPLETE AND EXPOSED AREAS ARE STABILIZED, THE RISER PIPE AND SOLID PIPE SHALL BE REMOVED OR PERMANENTLY ABANDONED FOR POND A4A.

PERFORATED RISER PIPE

SCALE: NTS

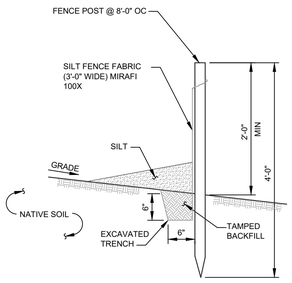






FES OUTLET PROTECTION

SCALE: NTS

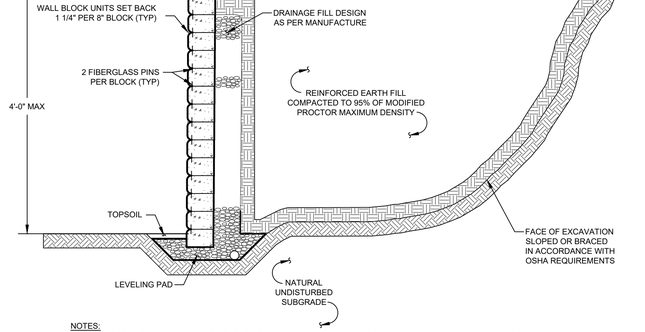


NOTES:

1. SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.

SILT FENCE

SCALE: N.T.S.



NOTES:

1. PROPOSED KEYSTONE KS HALF CENTURY RETAINING WALL SHALL BE DESIGNED AS PER THE MANUFACTURER.
2. FENCING SHALL BE INSTALLED FOR AS SHOWN ON THE PLANS, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. COLORS TO MATCH FOUNDATION STONE.
4. FOR WALLS OVER HEIGHTS OF 4'-0" SEE SPECIFIC ENGINEERED WALL DETAILS AS PREPARED BY OTHERS.

TYPICAL MSE RETAINING WALL

SCALE: N.T.S.

EROSION AND SEDIMENTATION CONTROL NOTES

1. SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION.
2. ORANGE CONSTRUCTION FENCE LOCATIONS SHALL BE STAKED BY A SURVEYOR AND INSTALLATION SHALL BE CONFIRMED BY THE ENGINEER PRIOR TO ANY LAND DISTURBANCE WITHIN 125 FEET OF AN EXISTING WETLAND AND IN AREAS WHERE TREES AND STONE WALLS ARE TO BE PRESERVED. ALL ORANGE CONSTRUCTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION TO PROTECT SENSITIVE AREAS. THE ORANGE CONSTRUCTION FENCING WILL BE REMOVED UPON FINAL STABILIZATION OF ALL AREAS WITHIN 125 FEET OF FENCING.
3. TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES AND/OR STRAW BALE DIKES, DRAINAGE STRUCTURES, AND RIP-RAP PROTECTION SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION:
   - 4.1. AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
   - 4.2. LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
   - 4.3. FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED PER SOIL TEST RESULTS OR AT A RATE OF 600 LBS. PER ACRE.
   - 4.4. DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FALLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS. RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS. CERTIFIED "AROOSTOOK" WINTER RYE (CEREAL RYE) PER ACRE.
   - 4.5. PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE: 8 LBS EMPIRE BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER PER ACRE PLUS 20 LBS TALL FESCUE PER ACRE PLUS 2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE
   - 4.6. ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
   - 4.7. ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
6. TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
7. ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
8. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
9. MULCH NETTING SUCH AS PAPER, JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE. OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
10. STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

MATERIAL	lbs./Acre
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25

11. OPTIMUM SEEDING PERIODS ARE 3/15-6/1 AND 8/1-10/15.

SEQUENCE OF CONSTRUCTION ACTIVTY

1. A MEETING WITH TOWN REPRESENTATIVES, INCLUDING TOWN ENGINEER, AS WELL AS CONTRACTORS, PROJECT MANAGER AND FOREMAN, IS TO TAKE PLACI A MINIMUM OF ONE WEEK PRIOR TO CONSTRUCTION.
2. CONSTRUCTION STAGING: STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWN HILL OF PROPOSED CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND STABLIZE CONSTRUCTION ROAD(S). INSTALL TEMPORARY SEDIMENT TRAP. INSTALL PERMANENT/TEMPORARY GRASSED SWALES.
3. CLEARING AND GRUBBING: REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
4. ROUGH GRADING: CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN OI THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABLIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABLIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
5. ROAD/BUILDING CONSTRUCTION AND UTILITY INSTALLATION: FINAL GRADING AND CONSTRUCTION OF ROADWAYS. BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. INSTALL DRAINAGE INLET AND OUTLET PROTECTION AS EACH INLET/OUTLET IS CONSTRUCTED. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
6. FINAL GRADING AND LANDSCAPING: REMOVE TEMPORARY SEDIMENT TRAPS AND INSTALL PERMANENT WATER QUALITY/QUANTITY FACILITIES. COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
7. POST CONSTRUCTION: UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.

EARTHWORK CONSTRUCTION NOTES

1. ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF WALLKILL.
2. ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
3. ALL FILL FOR POND CONSTRUCTION, BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
4. CELLAR, ROOF AND FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
5. COMPLETION OF GRADING AND BASIN, BERMS AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
6. ALL SLOPES IN EXCESS OF 3H:1V SHALL BE CONSTRUCTED WITH LOCALLY AVAILABLE GLACIAL TILL. THE EMBANKMENT FILL SHALL BE PLACED IN SIX-INCHTHICK LIFTS. EACH LIFT SHALL BE PLACED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
7. CONSTRUCT POND EMBANKMENT WITH LOCALLY AVAILABLE GLACIAL TILL WITH 3H:1V SIDE SLOPES OR AS NOTED ON PLAN. THE EMBANKMENT FILL SHALL BE PLACED IN A SIX-INCH THICK CONTINUOUS LAYEF OVER THE ENTIRE LENGTH EACH LIFT SHALL BE PLACED AT OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
8. STABILIZATION OF POND BERMS, AND ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES".
9. ALL POND OUTLETS SHALL HAVE SEEPAGE CONTROL COLLARS PLACED AT 1/3 AND 2/3 THE WIDTH OF THE EMBANKMENT.
10. SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PERVIOUS SURFACES. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
    - 10.A. APPLY 3 INCHES OF COMPOST OVER SUBSOIL
    - 10.B. TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
    - 10.C. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
    - 10.D. APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
    - 10.E. VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

No.	DATE	DESCRIPTION
1	03/20/20	REVISED FOR OCDPW SUBMISSION
2	04/03/20	REVISED PER MHE COMMENTS 03/10/2020
3	06/05/20	REVISED PER MHE COMMENTS 04/28/2020

DRAWING STATUS	ISSUE DATE: 06/05/2020		
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	SHEET NUMBER		
☐ CONCEPT APPROVAL	N/A	OF	N/A
☑ PLANNING BOARD APPROVAL	39	OF	39
☐ OCDOH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
☐ OCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
☐ NYSDEC APPROVAL	N/A	OF	N/A
☐ NYSDOT APPROVAL	N/A	OF	N/A
☐ OTHER	N/A	OF	N/A
☐ FOR BID	N/A	OF	N/A
☐ FOR CONSTRUCTION	N/A	OF	N/A

THIS PLAN SET HAS BEEN ISSUED SPECIFICALLY FOR THE APPROVAL OR ACTION NOTED ABOVE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.
THIS SHEET SHALL BE CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL SHEETS OF THE DENOTED PLAN SET(S).

JAY SAMUELSON, P.E.
NEW YORK LICENSE # 080023

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DETAILS

599 E. MAIN ST. - RDM WAREHOUSE (LOT 2)
599 EAST MAIN STREET
TOWN OF WALLKILL
ORANGE COUNTY, NEW YORK

JOB #:	DRAWN BY:	
980.1504	JS	C-305
DATE: 01/06/20	SCALE: AS NOTED	
REVISION: 3 - 06/05/2020	TAX LOT: 78-1-94.1	

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