

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR 498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE

BLOCK 2301, LOT 10; TAX MAP SHEET #23 - LATEST REV. DATED 12-23-2011
498 HERMAN ROAD
TOWNSHIP OF JACKSON
OCEAN COUNTY, NEW JERSEY

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT
J.C. INDUSTRIES, LLC 224 BARTLEY RD JACKSON, NJ 08527	2201	53.01
MJA JACKSON TOWNSHIP 135 MANHATTAN ST JACKSON, NJ 08527	2201	54
PROGRESSIVE GEN CONTRACTORS, INC. 1356 VINCENZO DR TOMS RIVER, NJ 08753	2301	7
IPOLITO, PATRICK & KRISTINE 2009 OLD BRIDGE RD POINT PLEASANT, NJ 08742	2301	8
TOWNSHIP OF JACKSON 95 W VETERANS HWY JACKSON, NJ 08527	2301	9
MICKEL, RICHARD & DOROTHY 3171 RED BRD LN MYRTLE BEACH, SC 29588	2301	11

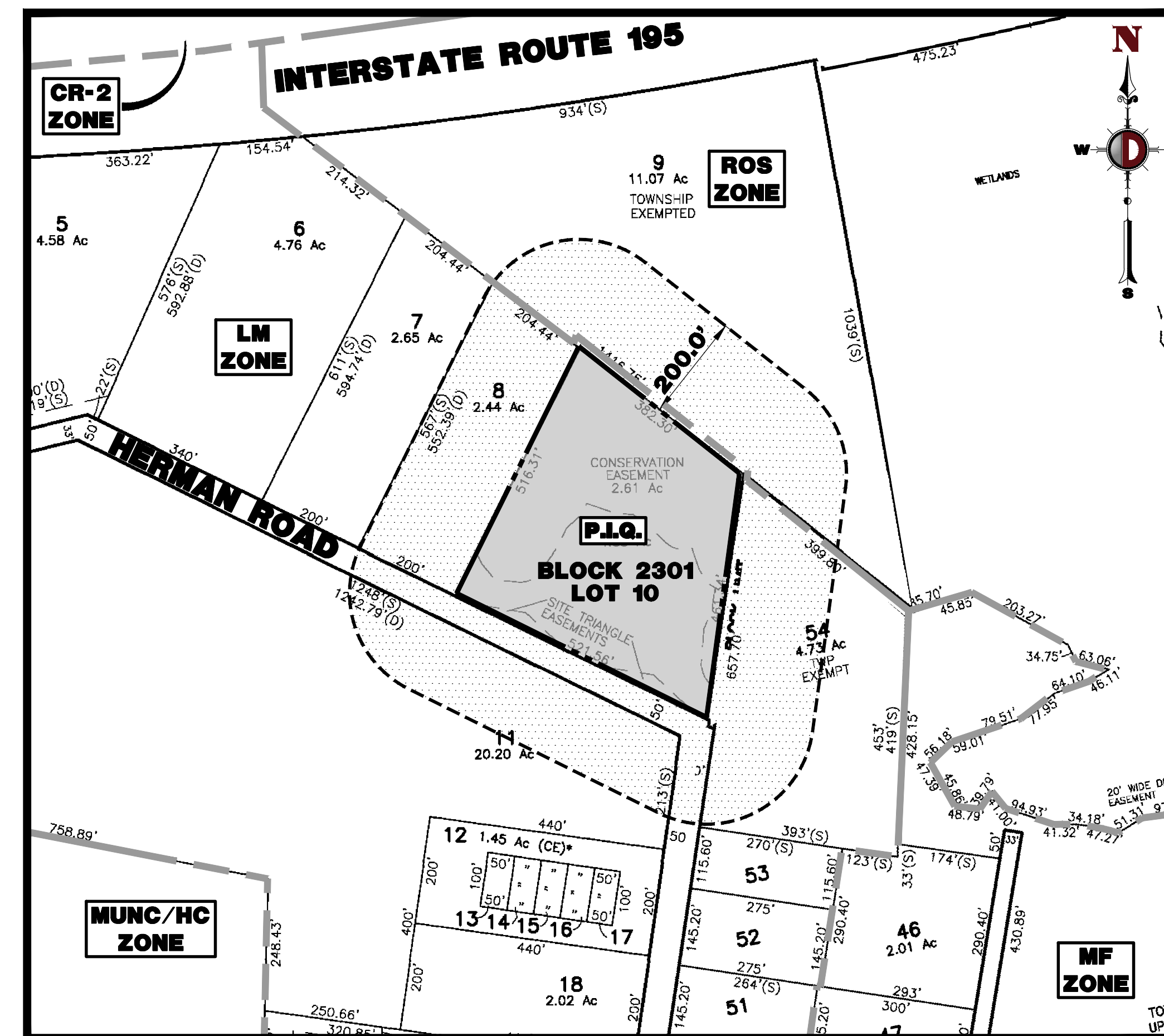
ALSO TO BE NOTICED:

NU NATURAL GAS CO.
PO BOX 1464
WALL, NJ 07719

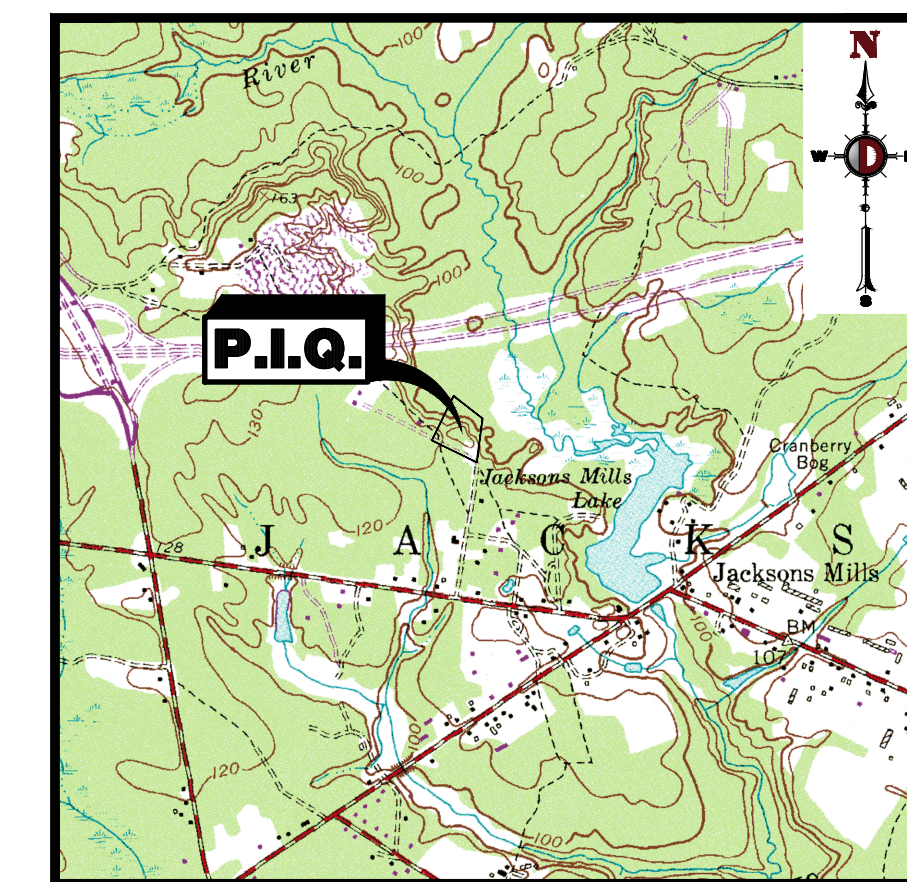
JCP&L CO.
300 MADISON AVENUE
MORRISTOWN, NJ 07932

MONMOUTH CABLEVISION ASSOC.
1501 18TH AVE
WALL TWP., NJ 07719

VERIZON NEW JERSEY, INC.
777 PARKWAY AVE
TRENTON, NJ 08618



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

DRAWING INDEX

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PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

CHAIRMAN	DATE
SECRETARY	DATE
BOARD ENGINEER	DATE

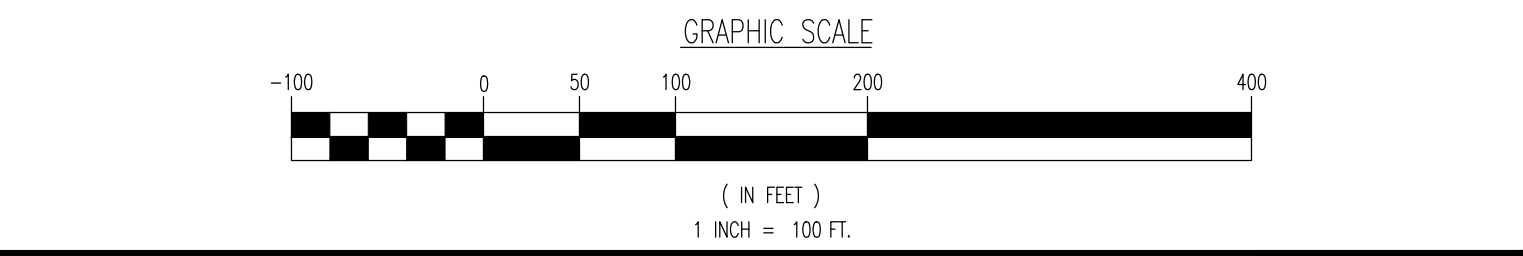
PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

<p>DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING</p> <p>1904 Main Street Lake Como, NJ 07719 T: 973.974.0198 F: 973.974.3521 www.dynamiccec.com</p>	
<p>TITLE: COVER SHEET</p>	
<p>PROJECT: 498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE BLOCK 2301, LOT 10 498 HERMAN ROAD TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY</p>	<p>JOB No: 2871-99-004 DATE: 11/23/2020</p>
<p>DESIGNED BY: AJH CHECKED BY: TJM</p>	<p>SCALE: (H) AS SHOWN SHEET No: 1 OF 15</p>
<p>THOMAS J. MULLER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179</p>	<p>JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975</p>
<p>PROTECT YOURSELF ALL STATES REQUIRE VERIFICATION OF SCHEMATIC DESIGNER, IF ANY DESIGN PREPARED BY ARCHITECT OR SURVEYOR OR STATE OFFICIALS. FOR STATE OFFICIALS: DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	



Plotted: 01/08/21 - 12:13 PM, By: kgroy, Product Ver: 23.1s (LMS Tech)
File: P:\VEPC PROJECTS\2871 Recd Acct Management, Inc\99-004 Jackson 498 Herman Road\Site Plans\287199004SA1.dwg, ----> 02 AERIAL MAP



THE AERIAL MAPS DEPICTED ON THIS PLAN IS BASED UPON AERIAL PHOTOGRAPHY OF THE STATE OF NEW JERSEY CAPTURED BETWEEN MARCH AND MAY, 2015. THE NEW JERSEY 2015 HIGH RESOLUTION ORTHOPHOTOGRAPHY PROJECT WAS FURNISHED BY THE NJ OFFICE OF INFORMATION TECHNOLOGY. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

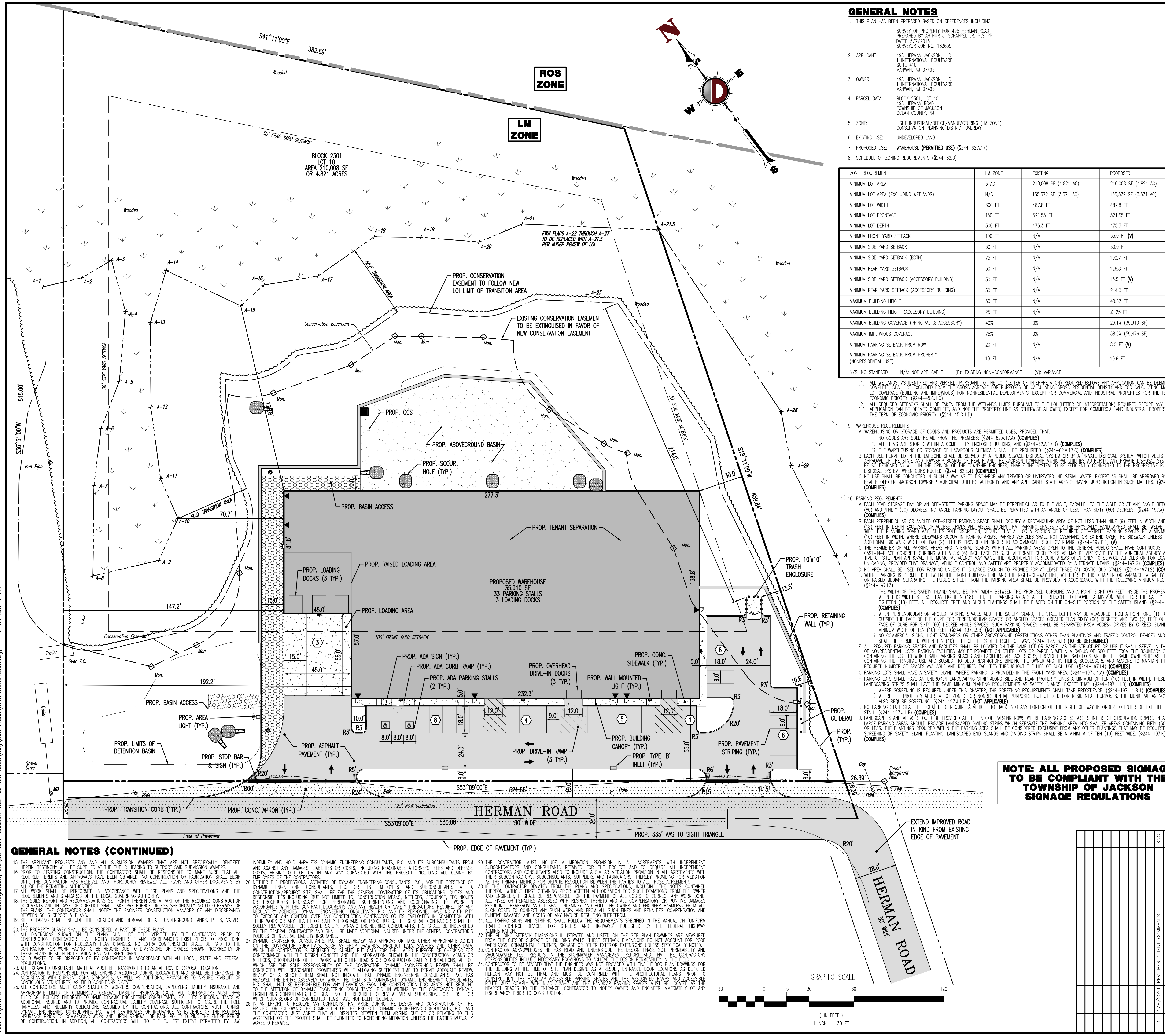
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 Allen, Texas 1: 972.334.2100 | Austin, Texas 1: 512.444.2546 | Houston, Texas 1: 281.789.6400
 Newtewes, Pennsylvania 1: 207.865.0274 | Dallas, Texas 1: 561.921.8570

TITLE: AERIAL MAP		JOB No: 2871-99-004		DATE: 11/23/2020
PROJECT: 498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE		DRAWN BY: AJH		SCALE: (H) 1"=100' (V)
BLOCK: 2301, LOT 10 498 HERMAN ROAD TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY		DESIGNED BY: LPG		SHEET No:
THOMAS J. MULLER <i>Thomas J. Muller</i> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179		JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975		2 OF 15
Rev. # 1		FOR STATE OFFICE DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM		Rev. # 1



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 SURVEY OF PROPERTY FOR 498 HERMAN ROAD
 PREPARED BY ARTHUR J. SCHAEFER, JR., PLS. P.P.
 DATED 5/7/2018
 SURVEY NO. 183659
- APPLICANT: 498 HERMAN JACKSON, LLC
 1 INTERNATIONAL BOULEVARD
 SUITE 410
 MUMFORD, NJ 07455
- OWNER: 498 HERMAN JACKSON, LLC
 1 INTERNATIONAL BOULEVARD
 MUMFORD, NJ 07455
- PARCEL DATA: BLOCK 2301, LOT 10
 498 HERMAN ROAD
 TOWNSHIP OF JACKSON
 OCEAN COUNTY, NJ
- ZONE: LIGHT INDUSTRIAL/OFFICE/MANUFACTURING (LM ZONE)
 CONSERVATION PLANNING DISTRICT OVERLAY
- EXISTING USE: UNDEVELOPED LAND
- PROPOSED USE: WAREHOUSE (PERMITTED USE) (§244-62.1.A)
- SCHEDULE OF ZONING REQUIREMENTS (§244-62.0)

ZONE REQUIREMENT	LM ZONE	EXISTING	PROPOSED
MINIMUM LOT AREA	3 AC	210,008 SF (4.821 AC)	210,008 SF (4.821 AC)
MINIMUM LOT AREA (EXCLUDING WETLANDS)	N/A	155,572 SF (3.571 AC)	155,572 SF (3.571 AC)
MINIMUM LOT WIDTH	300 FT	487.8 FT	487.8 FT
MINIMUM LOT FRONTAGE	150 FT	421.55 FT	521.55 FT
MINIMUM LOT DEPTH	300 FT	575.3 FT	475.3 FT
MINIMUM FRONT YARD SETBACK	100 FT	N/A	55.0 FT (V)
MINIMUM SIDE YARD SETBACK	30 FT	N/A	30.0 FT
MINIMUM SIDE YARD SETBACK (BOTH)	75 FT	N/A	100.7 FT
MINIMUM REAR YARD SETBACK	30 FT	N/A	126.8 FT
MINIMUM SIDE YARD SETBACK (ACCESSORY BUILDING)	50 FT	N/A	13.5 FT (V)
MINIMUM REAR YARD SETBACK (ACCESSORY BUILDING)	50 FT	N/A	214.0 FT
MAXIMUM BUILDING HEIGHT	50 FT	N/A	40.67 FT
MAXIMUM BUILDING HEIGHT (ACCESSORY BUILDING)	25 FT	N/A	≤ 25 FT
MAXIMUM BUILDING COVERAGE (PRINCIPAL & ACCESSORY)	40%	0%	23.1% (35,910 SF)
MAXIMUM IMPERVIOUS COVERAGE	75%	0%	38.2% (59,246 SF)
MINIMUM PARKING SETBACK FROM ROW	20 FT	N/A	8.0 FT (V)
MINIMUM PARKING SETBACK FROM PROPERTY	10 FT	N/A	10.6 FT

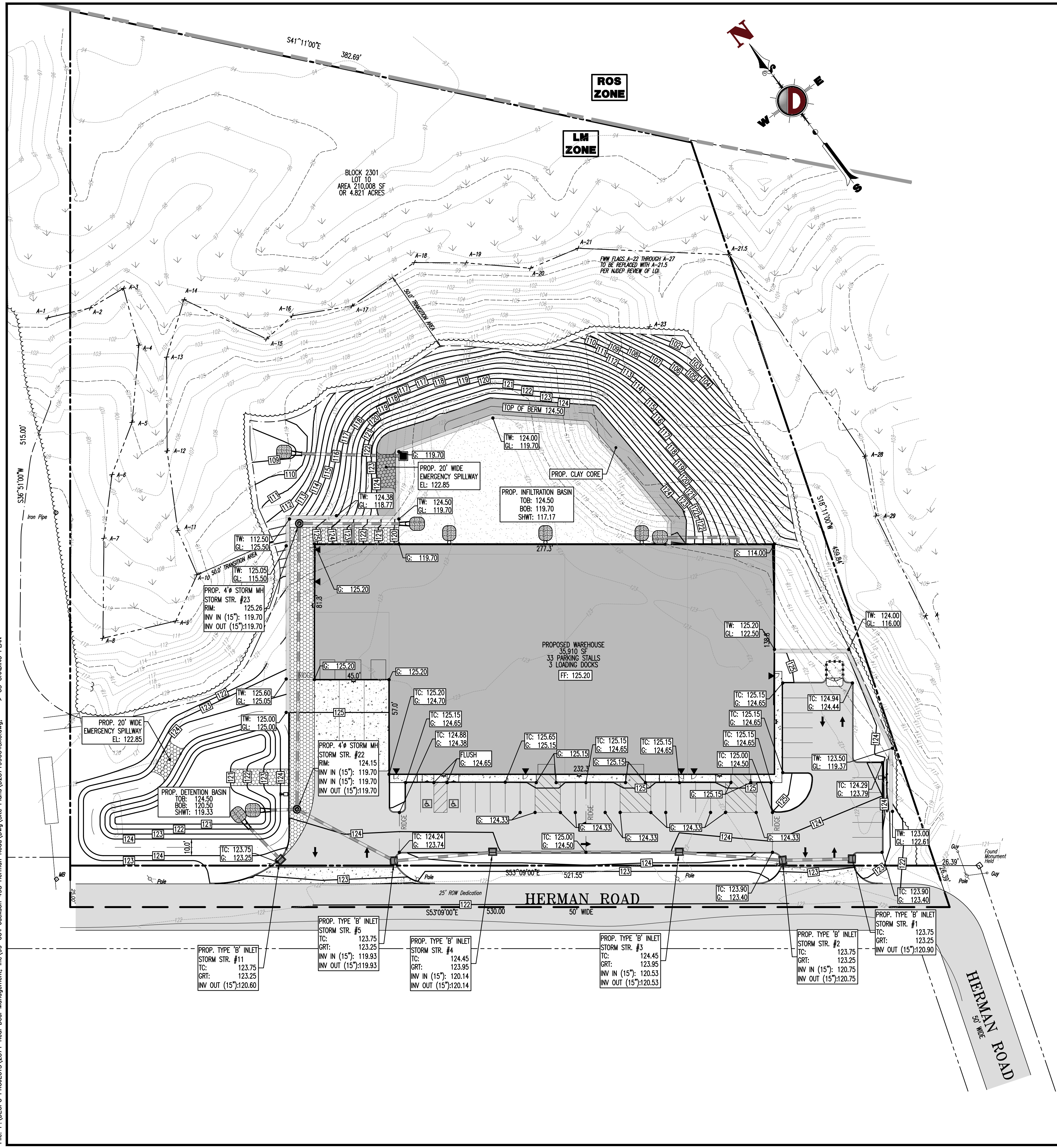
N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE

- ALL WETLANDS, AS IDENTIFIED AND VERIFIED PURSUANT TO THE LOI (LETTER OF INTERPRETATION) REQUIRED BEFORE ANY APPLICATION CAN BE DEEMED COMPLETE, SHALL BE EXCLUDED FROM THE GROSS ACREAGE FOR PURPOSES OF CALCULATING GROSS RESIDENTIAL DENSITY AND FOR CALCULATING MAXIMUM LOT COVERAGE, (BUILDING AND IMPERVIOUS) FOR NONRESIDENTIAL DEVELOPMENTS, EXCEPT FOR COMMERCIAL AND INDUSTRIAL PROPERTIES FOR THE TERM OF ECONOMIC PRIORITY. (§244-62.1.C)
- ALL REQUIRED SETBACKS SHALL BE TAKEN FROM THE WETLANDS LIMITS PURSUANT TO THE LOI (LETTER OF INTERPRETATION) REQUIRED BEFORE ANY APPLICATION CAN BE DEEMED COMPLETE, AND NOT THE PROPERTY LINE AS OTHERWISE ALLOWED, EXCEPT FOR COMMERCIAL AND INDUSTRIAL PROPERTIES FOR THE TERM OF ECONOMIC PRIORITY. (§244-62.1.C)
- WAREHOUSE REQUIREMENTS
 - WAREHOUSING OR STORAGE OF GOODS AND PRODUCTS ARE PERMITTED USES, PROVIDED THAT:
 - NO GOODS ARE SOLD RETAIL FROM THE PREMISES. (§244-62.1.A.1) (COMPLIES)
 - ALL ITEMS ARE STORED WITHIN A COMPLETELY ENCLOSED BUILDING, AND (§244-62.1.A.1.1) (COMPLIES)
 - THE WAREHOUSING OR STORAGE OF HAZARDOUS CHEMICALS SHALL BE PROHIBITED. (§244-62.1.A.1.2) (COMPLIES)
 - EACH USE PERMITTED IN THE LM ZONE SHALL BE SERVED BY A PUBLIC SEWAGE DISPOSAL SYSTEM OR BY A PRIVATE DISPOSAL SYSTEM, WHICH MEETS THE APPROVAL OF THE STATE AND TOWNSHIP BOARDS OF HEALTH AND THE JACKSON TOWNSHIP MUNICIPAL UTILITIES AUTHORITY. PRIVATE DISPOSAL SYSTEM SHALL BE 30' SEPARATION WALL IN THE OPINION OF THE TOWNSHIP ENGINEER. THE SYSTEM TO BE EFFICIENTLY CONNECTED TO THE PROSPECTIVE PUBLIC DISPOSAL SYSTEM, WHEN CONSTRUCTED. (§244-62.1.A.2) (COMPLIES)
 - NO USE SHALL BE CONSIDERED COMPLETE UNLESS IT IS TREATED OR UNTREATED INDUSTRIAL WASTE, EXCEPT AS SHALL BE APPROVED BY THE HEALTH OFFICER, JACKSON TOWNSHIP MUNICIPAL UTILITIES AUTHORITY AND ANY APPLICABLE STATE HEALTH JURISDICTION IN SUCH MATTERS. (§244-62.1.A.2.1) (COMPLIES)
- PARKING REQUIREMENTS
 - EACH DRIVE STORAGE BAY OR AN OFF-STREET PARKING SPACE MAY BE PERPENDICULAR TO THE AISLE, PARALLEL TO THE AISLE OR AT AN ANGLE BETWEEN SIXTY AND NINETY (90) DEGREES. NO ANGLE PARKING LAYOUT SHALL BE PERMITTED WITH AN ANGLE OF LESS THAN SIXTY (60) DEGREES. (§244-197.A) (COMPLIES)
 - EACH PERPENDICULAR OR ANGLE OFF-STREET PARKING SPACE SHALL OCCUPY A RECTANGULAR AREA OF NOT LESS THAN NINE (9) FEET IN WIDTH AND EIGHTEEN (18) FEET IN DEPTH INCLUDING ACCESS DRIVES AND AISLES, EXCEPT THAT PARKING SPACES FOR THE PHYSICALLY HANDICAPPED SHALL BE TWELVE (12) FEET WIDE. THE PLANNING BOARD MAY, AT ITS SOLE DISCRETION, REQUIRE THAT ALL OR A PORTION OF REQUIRED OFF-STREET PARKING SPACES BE A MINIMUM OF TEN (10) FEET IN WIDTH. WHERE SIDEWALKS OCCUR IN PARKING AREAS, PARKED VEHICLES SHALL NOT OVERHANG OR EXTEND OVER THE SIDEWALK UNLESS AN ADDITIONAL SIDEWALK WIDTH OF TWO (2) FEET IS PROVIDED IN ORDER TO ACCOMMODATE SUCH OVERHANG. (§244-197.B.1) (V)
 - THE PERIMETER OF ALL PARKING AREAS AND INTERNAL ISLANDS WITHIN ALL PARKING AREAS OPEN TO THE GENERAL PUBLIC SHALL HAVE CONTINUOUS CAST-IN-PLACE CONCRETE CURBING WITH A SIX (6) INCH FACE, OR SUCH ALTERNATE CURB TYPES AS MAY BE APPROVED BY THE MUNICIPAL AGENCY AT THE TIME OF THE SITE PLAN APPROVAL. THE MUNICIPAL AGENCY MAY WAIVE THE REQUIREMENT FOR CURB AREAS OPEN ONLY TO SERVICE VEHICLES OR FOR LOADING AND UNLOADING, PROVIDED THAT DRAINAGE, VEHICLE CONTROL AND SAFETY ARE PROPERLY ACCOMMODATED BY ALTERNATE MEANS. (§244-197.B) (COMPLIES)
 - NO AREA SHALL BE USED FOR PARKING UNLESS IT IS LARGE ENOUGH TO PROVIDE FOR AT LEAST THREE (3) CONTIGUOUS STALLS. (§244-197.B.2) (COMPLIES)
 - WHERE PARKING IS PERMITTED BETWEEN THE FRONT BUILDING LINE AND THE RIGHT-OF-WAY LINE, WHETHER BY THIS CHAPTER OR VARIANCE, A SAFETY ISLAND OR RAISED MEDIAN SEPARATING THE PUBLIC STREET FROM THE PARKING AREA SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS: (§244-197.B.3)
 - THE WIDTH OF THE SAFETY ISLAND SHALL BE THAT WITHIN THE PROPOSED CURBLINE AND A POINT EIGHT (8) FEET INSIDE THE PROPERTY LINE. WHEN THIS WIDTH IS LESS THAN EIGHTEEN (18) FEET, THE PARKING AREA SHALL BE REDUCED TO PROVIDE A MINIMUM WIDTH FOR THE SAFETY ISLAND OF EIGHTEEN (18) FEET. ALL REQUIRED TREE AND SHRUB PLANTINGS SHALL BE PLACED ON THE ON-SITE PORTION OF THE SAFETY ISLAND. (§244-197.B.3.A) (COMPLIES)
 - WHEN PERPENDICULAR OR ANGLE OFF-STREET PARKING SPACES ABUT THE SAFETY ISLAND, THE STALL DEPTH MAY BE MEASURED FROM A POINT ONE (1) FOOT OUTSIDE THE FACE OF THE CURB FOR PERPENDICULAR SPACES OR ANGLE SPACES GREATER THAN SIXTY (60) DEGREES AND TWO (2) FEET OUTSIDE THE FACE OF CURB FOR SIXTY (60) DEGREE ANGLE SPACES. SUCH PARKING SPACES SHALL BE SEPARATED FROM ACCESS DRIVES BY CURBED ISLANDS WITH A MINIMUM WIDTH OF TEN (10) FEET. (§244-197.B.3.B) (NOT APPLICABLE)
 - NO COMMERCIAL SIGNS, LIGHT STANDARDS OR OTHER ADVERTISEMENTS OR OBSTRUCTIONS OTHER THAN PLANTINGS AND TRAFFIC CONTROL DEVICES AND SIGNS SHALL BE PERMITTED WITHIN TEN (10) FEET OF THE STREET RIGHT-OF-WAY. (§244-197.B.3.C) (TO BE DETERMINED)
- ALL REQUIRED PARKING SPACES AND FACILITIES SHALL BE LOCATED ON THE SAME LOT OR PARCEL AS THE STRUCTURE OR USE IT SHALL SERVE. IN THE CASE OF NONRESIDENTIAL USES, PARKING FACILITIES MAY BE PROVIDED ON OTHER LOTS OR PARCELS WITHIN A BLOCK OR 300 FEET FROM THE BOUNDARY OF THE LOT CONTAINING THE USE TO WHICH SAID PARKING SPACES AND FACILITIES ARE ACCORDING, PROVIDED THAT SAID LOTS ARE IN THE SAME OWNERSHIP AS THE LOT CONTAINING THE PRINCIPAL USE AND SUBJECT TO DEED RESTRICTIONS BINDING THE OWNER AND HIS HEIRS, SUCCESSORS AND ASSIGNEES TO MAINTAIN THE REQUIRED NUMBER OF SPACES AVAILABLE AND REQUIRED FACILITIES THROUGHOUT THE LIFE OF SUCH USE. (§244-197.1.A) (COMPLIES)
- G PARKING LOTS SHALL HAVE A SAFETY ISLAND, WHERE PARKING IS PROVIDED IN THE FRONT YARD AREA. (§244-197.1.A.1) (COMPLIES)
- H PARKING LOTS SHALL HAVE AN UNDEVELOPED LANDSCAPING STRIP ALONG SIDE AND REAR PROPERTY LINES A MINIMUM OF TEN (10) FEET IN WIDTH. THESE LANDSCAPING STRIPS SHALL HAVE THE SAME MINIMUM PLANTING REQUIREMENTS AS SAFETY ISLANDS, EXCEPT THAT (§244-197.1.B.1) (COMPLIES)
 - WHERE SCREENING IS REQUIRED UNDER THIS CHAPTER, THE SCREENING PURPOSES SHALL TAKE PRECEDENCE. (§244-197.1.B.1.1) (COMPLIES)
 - WHERE THE PROPERTY ABUTS A LOT ZONED FOR NONRESIDENTIAL PURPOSES, BUT UTILIZED FOR RESIDENTIAL PURPOSES, THE MUNICIPAL AGENCY MAY ALSO REQUIRE SCREENING. (§244-197.1.B.1.2) (NOT APPLICABLE)
- I NO PARKING STALL SHALL BE LOCATED TO REQUIRE A VEHICLE TO BACK INTO ANY PORTION OF THE RIGHT-OF-WAY IN ORDER TO ENTER OR EXIT THE PARKING AREA. (§244-197.1.C) (COMPLIES)
- J LANDSCAPING ISLANDS SHOULD BE PROVIDED AT THE END OF PARKING ROWS WHERE PARKING ACCESSIBLE CIRCULATION DRIVES. IN ADDITION, LARGE PARKING AREAS SHOULD PROVIDE LANDSCAPED DIVIDING STRIPS WHICH SEPARATE THE PARKING AREA INTO SMALLER AREAS CONTAINING FIFTY (50) SPACES OR LESS. PLANTINGS REQUIRED WITHIN THE PARKING AREA SHALL BE CONSIDERED EXCLUSIVE FROM ANY OTHER PLANTINGS THAT MAY BE REQUIRED FOR SCREENING OR SAFETY ISLAND PLANTING. LANDSCAPED END ISLANDS AND DIVIDING STRIPS SHALL BE A MINIMUM OF TEN (10) FEET WIDE. (§244-197.X) (COMPLIES)

NOTE: ALL PROPOSED SIGNAGE TO BE COMPLIANT WITH THE TOWNSHIP OF JACKSON SIGNAGE REGULATIONS

- GENERAL NOTES (CONTINUED)**
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSIONS AND ALL SUBMISSIONS NOT SPECIFICALLY IDENTIFIED HEREIN, TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSIONS.
 - PROVIDE TO THE TOWNSHIP ENGINEER AND TO THE BOARD OF PLANNING AND ZONING, ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY THE PERMITTING AUTHORITY.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
 - THE SITES REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE THE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE GENERAL CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN THESE PLANS AND THE SITES REPORT & PLANS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK REQUIRED TO BE REDONE OR FOR CONSTRUCTION WORK SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL EXCAVATED UNSATURATED MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SHIELDING DURING CONSTRUCTION. ALL CONTRACTORS MUST FURNISH CONSTRUCTION AS FELD CONDITIONS CHECKS.
 - ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSIGNED BY THE CONTRACTORS MUST FURNISH CONTRACTOR LIABILITY COVERAGE TO THE TOWNSHIP ENGINEER AND TO THE BOARD OF PLANNING AND ZONING.
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 - INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONTRACTORS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, THAT MAY BE INCURRED BY OR FOR ANY PARTY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY ANY OF THE CONTRACTORS.
 - NOTIFY THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. TO ITS EMPLOYEES AND SUBCONTRACTORS.
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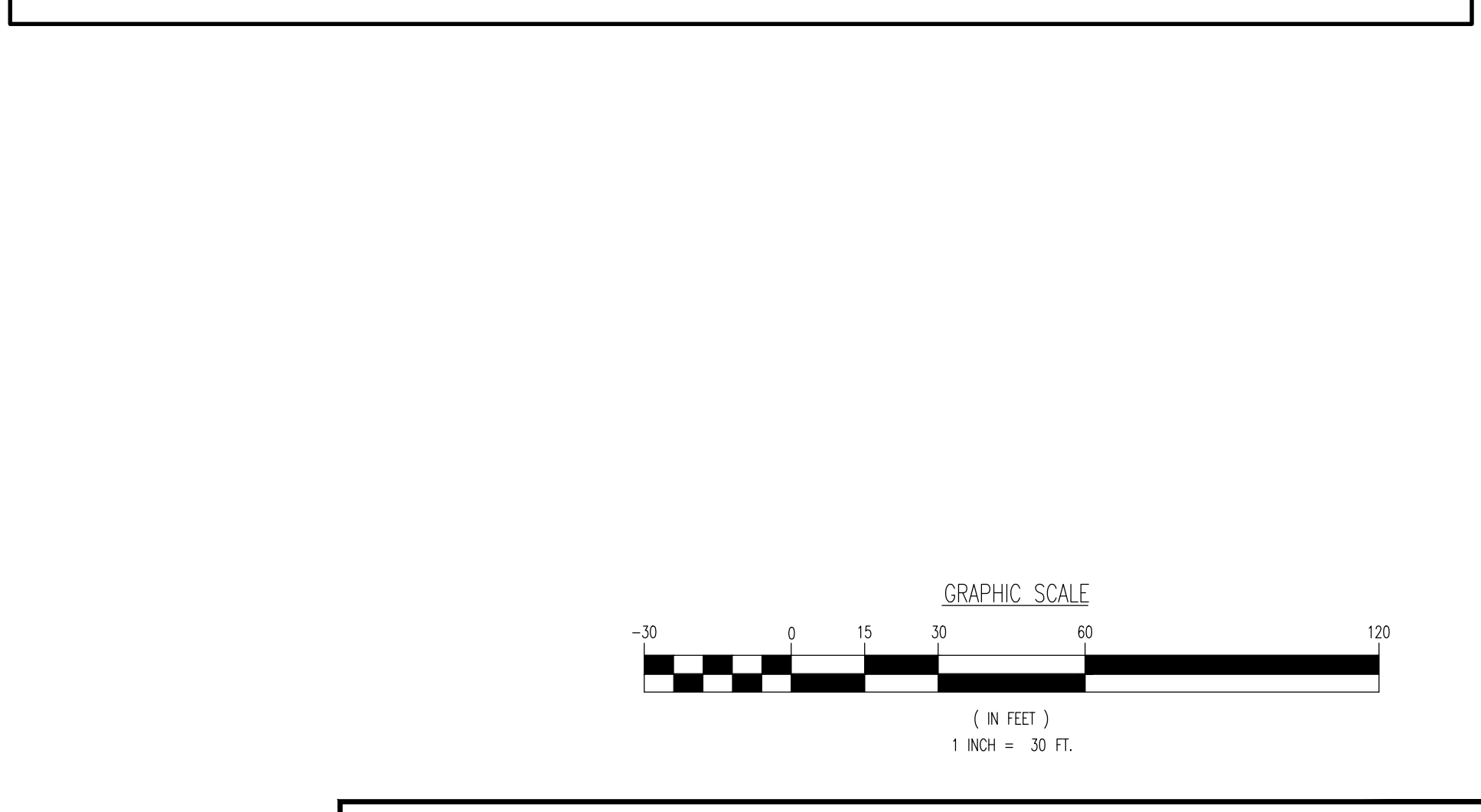
Plotted: 01/08/21 - 12:13 PM, By: kgrov, Product Ver: 23.1s (LMS Tech)
 File: P:\BECPC PROJECTS\2871 Real Deal Management, Inc\99-004 Jackson 498 Herman Road\Draw\Site Plans\287199004SXC.dwg, Date: 05 GRADING PLAN



- ### GRADING NOTES
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE AND 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND CURBS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING, IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
 - SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - REFER TO SITE PLAN FOR ADDITIONAL NOTES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
 - MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
 - CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 3% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTES WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 - THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
 - CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
 - CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
 - THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

GRADING/UTILITY GRAPHIC LEGEND

PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES	
---	EXIST. CABLE LINE	---	EXIST. SPOT ELEVATIONS
---	PROP. CABLE LINE	---	EXIST. GUTTER ELEV.
---	EXIST. ELECTRIC LINE	---	EXIST. TOP OF CURB ELEV.
---	PROP. ELECTRIC LINE	---	EXIST. FINISH FLOOR ELEV.
---	EXIST. FIBER OPTIC LINE	---	EXIST. GARAGE FLOOR ELEV.
---	PROP. FIBER OPTIC LINE	---	EXIST. FIRE HYDRANT
---	EXIST. GAS LINE	---	EXIST. WATER VALVE
---	PROP. GAS LINE	---	EXIST. GAS VALVE
---	EXIST. OVERHEAD WIRES	---	EXIST. GAS METER
---	PROP. OVERHEAD WIRES	---	EXIST. ELECTRIC METER
---	EXIST. TELEPHONE LINE	---	EXIST. ELECTRIC BOX
---	PROP. TELEPHONE LINE	---	EXIST. CLEAN OUT
---	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	---	EXIST. WELL
---	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	---	EXIST. WATER SHUT OFF VALVE
---	EXIST. WATER LINE	---	EXIST. TELEPHONE BOX
---	PROP. WATER LINE	---	EXIST. CABLE TV BOX
---	EXIST. SANITARY SEWER LINE	---	EXIST. UTILITY POLE
---	PROP. SANITARY SEWER LINE	---	EXIST. GUY WIRE
---	EXIST. STORM DRAIN LINE	---	EXIST. LIGHT POLE
---	PROP. STORM DRAIN LINE	---	EXIST. BUILDING LIGHT
---	EXIST. MINOR CONTOUR & ELEVATION	---	EXIST. SHOE BOX LIGHT
---	EXIST. MAJOR CONTOUR & ELEVATION	---	EXIST. COBRA LIGHT POLE
---	PROP. FINISH GRADE CONTOUR & ELEVATION	---	EXIST. TRAFFIC SIGNAL POLE
---	EXIST. MONITORING WELL	---	EXIST. MANHOLE
---	APPROX. TEST PIT LOCATION	---	EXIST. "A" INLET
---		---	EXIST. "B" INLET
---		---	EXIST. "E" INLET
---		---	EXIST. "F" INLET
---		---	EXIST. FLARED END SECTION
---		---	EXIST. HEADWALL



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 New Orleans, Louisiana 1-227.865.0274 | Dallas, Texas 1-972.974.0198

GRADING PLAN	
PROJECT: 498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE BLOCK 2301, LOT 10 498 HERMAN ROAD TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY	JOB No: 2871-99-004 DATE: 11/23/2020 DRAWN BY: GMC/MWK SCALE: (H) 1"=30' (V) DESIGNED BY: LPG SHEET No: CHECKED BY: TJM CHECKED BY: -
THOMAS J. MULLER <i>Thomas J. Muller</i> PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52179	JOHN A. PALUS PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41975
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> <p style="font-size: x-small;">PROTECT YOURSELF ALL LEVELS REQUIRE NOTIFICATION OF UTILITY LOCATIONS. IF ANY UTILITY PREPARED TO ASSIST THE SAFETY SERVICE PROVIDER IN THE FIELD.</p> </div> <div style="text-align: center;"> <p style="font-size: x-small;">FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p> </div> </div>	

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

PLANTING SPECIFICATIONS

- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUIVALENT.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, VEGETABLE MATTER AND CLAY CLODS.
 - MULCH - FOUR (4) INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
- FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NUTROHUMS".
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" AND ORGANIC BASE MATERIALS COMPOSED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED SUPERIOR BACTERIAL CULTURES, CONTAINING NO FOULDRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1); NITROGEN 5%, PHOSPHORUS 3%, POTASSIUM 1%, SOIL HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEPED CLEAN AT THE END OF EACH DAY'S WORK.
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - TOPSOILING
 - CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
 - SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
 - 20 POUNDS GRO-POWER
 - 100 POUNDS AGRICULTURAL GYPSUM
 - 20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP
- SOIL MODIFICATIONS
 - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED HAYWASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PEELES WITH DETERMINABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A HEAVY SAND CONTENT. TOPSOIL SHOULD BE DEEPER THAN 4 INCHES.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED FINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF CLOUSEL TO BRIDGE TO BRIDGE TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- PLANTING
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS. MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PIT SHALL BE FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 - PART PEAT MOSS BY VOLUME
 - PART TOPSOIL BY VOLUME
 - 21 GRAM AGRIFORM PLANTING TABLETS AS FOLLOWS:
 - 1 TABLET PER 1 GAL PLANT
 - 1 TABLET PER 5 GAL PLANT
 - 4 TABLETS PER 15 GAL PLANT
 - LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER
 - PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
 - PREPARE BASED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
 - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7 BRANCHING HEIGHT.
- GROUND COVER
 - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS BAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - GRASSING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER CONTRACTOR SHALL PROVIDE WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO SPRING PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- FINISH GRADING
 - AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY FINISHED. 1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRASSED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
- CLEANUP
 - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROKE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SACKS, TIGHTEN AND REPAIR STAKE AND COY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
 - MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

PLANTING NOTES

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE NOT LESS THAN THAT STATED ABOVE.
- INSURANCE AS TO THE FITNESS OF PLANT MATERIAL SHALL BE THE PLANTER'S RESPONSIBILITY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROJECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH MILD-PROOF OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO OPEN CUTS OR GROUND PROBLEMS SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (7" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK LONG SIDE BRANCHES, HOWEVER MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN SHARP TOOLS.
- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL, COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- NEW PLANTING AREAS AND SOO SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
- PRIOR TO THE OCCUPANCY OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT, THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT. SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 to 12/15
LAWN	3/15 to 6/15
	9/15 to 12/11

TYPE	DATES
PLANTS	3/15 to 12/15
LAWN	3/15 to 6/15
	9/15 to 12/11

- FURTHERMORE THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.
- | | |
|-------------------------|-------------------------|
| ACER RUBRUM | POPULUS VARIETIES |
| BETULA VARIETIES | PRUNUS VARIETIES |
| CARPINUS VARIETIES | PRUNUS VARIETIES |
| CRATAEGUS VARIETIES | QUERCUS VARIETIES |
| KOELERUTERA | SALIX WEeping VARIETIES |
| LIQUIDAMBAR STYRACIFLUA | TILIA TOMENTOSA |
| LIQUIDAMBAR TULIPIFERA | ZELKOVA VARIETIES |
| PLATANUS ACERIFOLIA | |

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT. PRIOR TO PLANTING FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOODING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOO STABILIZATION METHOD.

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Newark, Pennsylvania: 1.202.685.0274 | Dallas, Texas: 1.941.921.8570

TITLE: **LANDSCAPING PLAN**

PROJECT: **498 HERMAN JACKSON, LLC**
PROPOSED WAREHOUSE
BLOCK 2301, LOT 10
498 HERMAN ROAD
TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

JOB NO: 2871-99-004
DATE: 11/23/2020

DRAWN BY: GMC
SCALE: (H) 1"=30'
(V)

DESIGNED BY: LPG
SHEET NO:

CHECKED BY: TJM
7

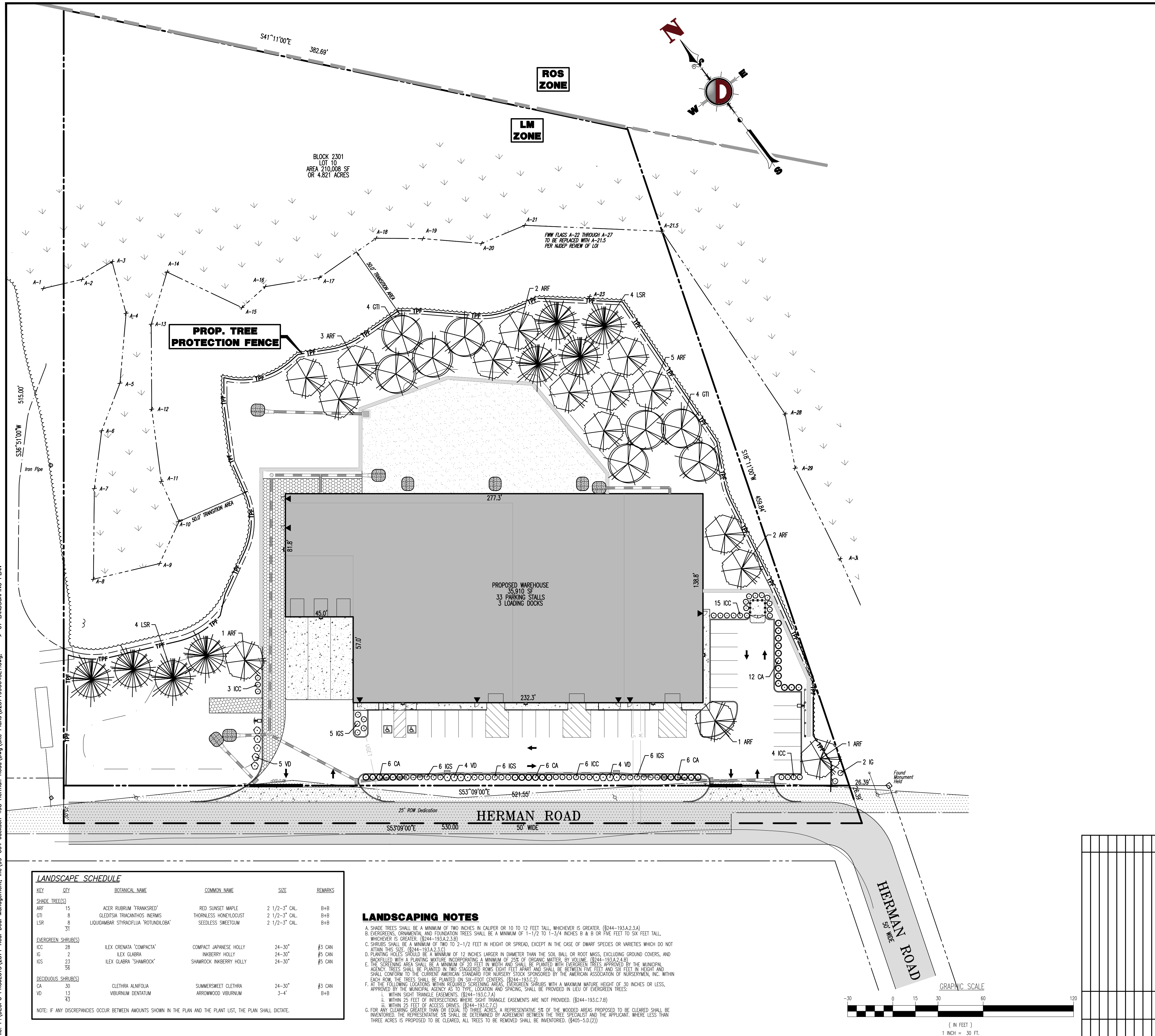
CHECKED BY: -

THOMAS J. MULLER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41979

JOHN A. PALUS PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41975

PROTECT YOURSELF
ALL STATE REQUIREMENTS OF ANY JURISDICTION OF ANY DESIGN PROFESSION SHALL BE OBSERVED. THE DESIGN PROFESSIONAL SHALL BE RESPONSIBLE FOR THE DESIGN AND SHALL BE A LICENSED PROFESSIONAL IN THE STATE OF NEW JERSEY.
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Rev. # 1



LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)					
ARF	15	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2-3" CAL.	B+B
GTI	8	LEDISTSA TRACANTHOS INERMIS	THORNLESS HONEYLOCUST	2 1/2-3" CAL.	B+B
LSR	8	LIQUIDAMBAR STYRACIFLUA 'ROTUNDOLOBA'	SEEDLESS SWEETGUM	2 1/2-3" CAL.	B+B
	31				
EVERGREEN SHRUB(S)					
ICC	28	ILEX CRENATA 'COMPACTA'	COMPACT JAPANESE HOLLY	24-30"	#3 CAN
IG	2	ILEX GLABRA	INKBERRY HOLLY	24-30"	#5 CAN
IGS	23	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERY HOLLY	24-30"	#5 CAN
	56				
DECIDUOUS SHRUB(S)					
CA	30	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24-30"	#3 CAN
VD	13	VEBURNUM DENTATUM	ARROWWOOD VEIBURNUM	3-4"	B+B
	43				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

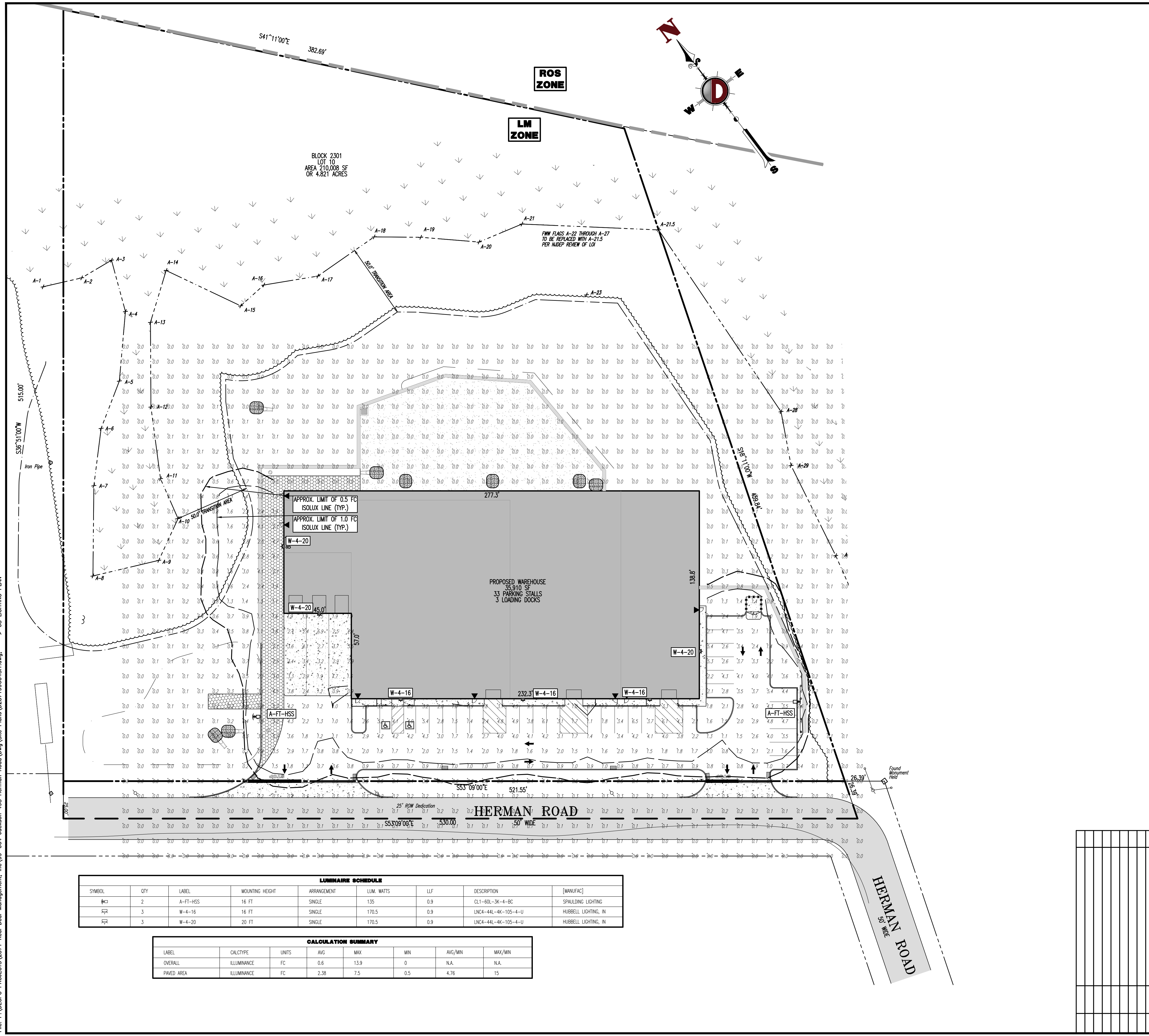
- LANDSCAPING NOTES**
- SHADE TREES SHALL BE A MINIMUM OF TWO INCHES IN CALIPER OR 10 TO 12 FEET TALL, WHICHEVER IS GREATER. (8244-193A.2.3A)
 - EVERGREENS, ORNAMENTAL AND FOUNDATION TREES SHALL BE A MINIMUM OF 1-1/2 TO 1-3/4 INCHES B & B OR FIVE FEET TO SIX FEET TALL, WHICHEVER IS GREATER. (8244-193A.2.3.B)
 - SHRUBS SHALL BE A MINIMUM OF TWO TO 2-1/2 FEET IN HEIGHT OR SPREAD, EXCEPT IN THE CASE OF DWARF SPECIES OR VARIETIES WHICH DO NOT ATTAIN THIS SIZE. (8244-193A.2.3.C)
 - PLANTING HOLES SHOULD BE A MINIMUM OF 12 INCHES LARGER IN DIAMETER THAN THE SOIL BALL OR ROOT MASS, EXCLUDING GROUND COVERS, AND BACKFILLED WITH A PLANTING MIXTURE INCORPORATING A MINIMUM OF 25% OF ORGANIC MATTER, BY VOLUME. (8244-193A.2.4.B)
 - THE SCREENING AREA SHALL BE A MINIMUM OF 20 FEET IN WIDTH AND SHALL BE PLANTED WITH EVERGREEN TREES APPROVED BY THE MUNICIPAL ENGINEER. TREES SHALL BE PLANTED IN TWO STAGGERED ROWS (EIGHT FEET APART) AND SHALL BE BETWEEN FIVE FEET AND 50 FEET IN HEIGHT AND SHALL CONFORM TO THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC. WITHIN EACH ROW THE TREES SHALL BE SPACED 10 FEET APART.
 - AT THE FOLLOWING LOCATIONS WITHIN THE SCREENING AREAS: EVERGREEN SHRUBS WITH A MINIMUM MATURE HEIGHT OF 30 INCHES OR LESS, APPROVED BY THE MUNICIPAL AGENCY AS TO TYPE, LOCATION AND SPACING, SHALL BE PROVIDED IN LIEU OF EVERGREEN TREES:
 - WITHIN SIGHT TRIANGLE EASEMENTS (8244-193C.7.A)
 - WITHIN 25 FEET OF INTERSECTIONS WHERE SIGHT TRIANGLE EASEMENTS ARE NOT PROVIDED. (8244-193C.7.B)
 - WITHIN 25 FEET OF ACCESS DRIVES. (8244-193C.7.C)
 - FOR ANY CLEARING GREATER THAN OR EQUAL TO THREE ACRES, A REPRESENTATIVE 5% OF THE WOODED AREAS PROPOSED TO BE CLEARED SHALL BE INVENTORIED. THE REPRESENTATIVE 5% SHALL BE DETERMINED BY AGREEMENT BETWEEN THE TREE SPECIALIST AND THE APPLICANT, WHERE LESS THAN THREE ACRES IS PROPOSED TO BE CLEARED, ALL TREES TO BE REMOVED SHALL BE INVENTORIED. (8405-5.D.(2))

GENERAL NOTES

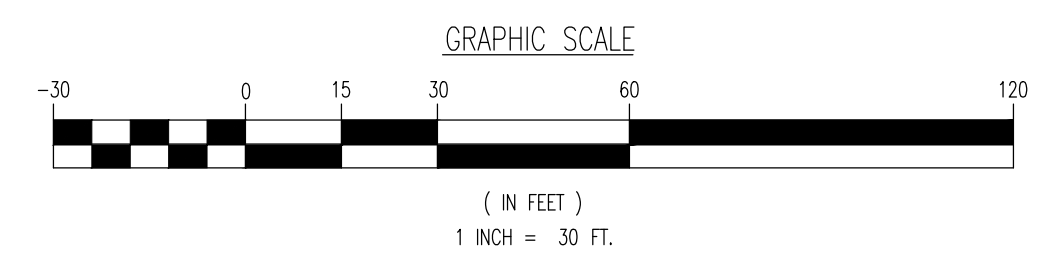
1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYDRAIL POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR LIGHTING DIAGRAM.

LIGHTING REQUIREMENTS

- A. THE ILLUMINATION PROVIDED BY ARTIFICIAL LIGHTING ON THE PROPERTY SHALL NOT EXCEED 0.5 FOOTCANDLE BEYOND ANY PROPERTY LINE. (§244-160L.1)
- B. NO LIGHT STANDARDS OR OTHER ABOVEGROUND OBSTRUCTIONS OTHER THAN PLANTINGS AND TRAFFIC CONTROL DEVICES AND SIGNS SHALL BE PERMITTED WITHIN 10 FEET OF THE STREET RIGHT-OF-WAY. (§244-197J.1.E)
- C. ALL PARKING AREAS FOR 10 OR MORE VEHICLES SHALL HAVE ARTIFICIAL LIGHTING THAT WILL PROVIDE A MINIMUM LIGHTING LEVEL OF 0.5 HORIZONTAL FOOTCANDLE THROUGHOUT THE PARKING AREA AND ACCESS DRIVES. FREESTANDING LIGHT POLES SHALL BE NO HIGHER THAN THE HEIGHT OF THE HIGHEST PRINCIPAL BUILDING OR 30 FEET, WHICHEVER IS LESS. SHIELDING SHALL BE REQUIRED WHERE NECESSARY TO PREVENT LIGHT TRESPASS GLARE UPON ADJACENT PROPERTIES OR STREETS. (§244-197J.1.F)



SEE SHEET 13 OF 15 FOR LIGHTING DETAILS



LUMINAIRE SCHEDULE								
SYMBOL	QTY	LABEL	MOUNTING HEIGHT	ARRANGEMENT	LUM. WATTS	LLF	DESCRIPTION	MANUFAC
⊙	2	A-FT-HSS	16 FT	SINGLE	135	0.9	CL1-60L-3K-4-BC	SPALDING LIGHTING
⊙	3	W-4-16	16 FT	SINGLE	170.5	0.9	LNQ4-44L-4K-10S-4-U	HUBBELL LIGHTING, IN
⊙	3	W-4-20	20 FT	SINGLE	170.5	0.9	LNQ4-44L-4K-10S-4-U	HUBBELL LIGHTING, IN

CALCULATION SUMMARY						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN
OVERALL	ILLUMINANCE	FC	0.6	13.9	0	N.A.
PAVED AREA	ILLUMINANCE	FC	2.38	7.5	0.5	4.76

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PROJECT: **498 HERMAN JACKSON, LLC**
PROPOSED WAREHOUSE
BLOCK 2301, LOT 10
498 HERMAN ROAD
TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

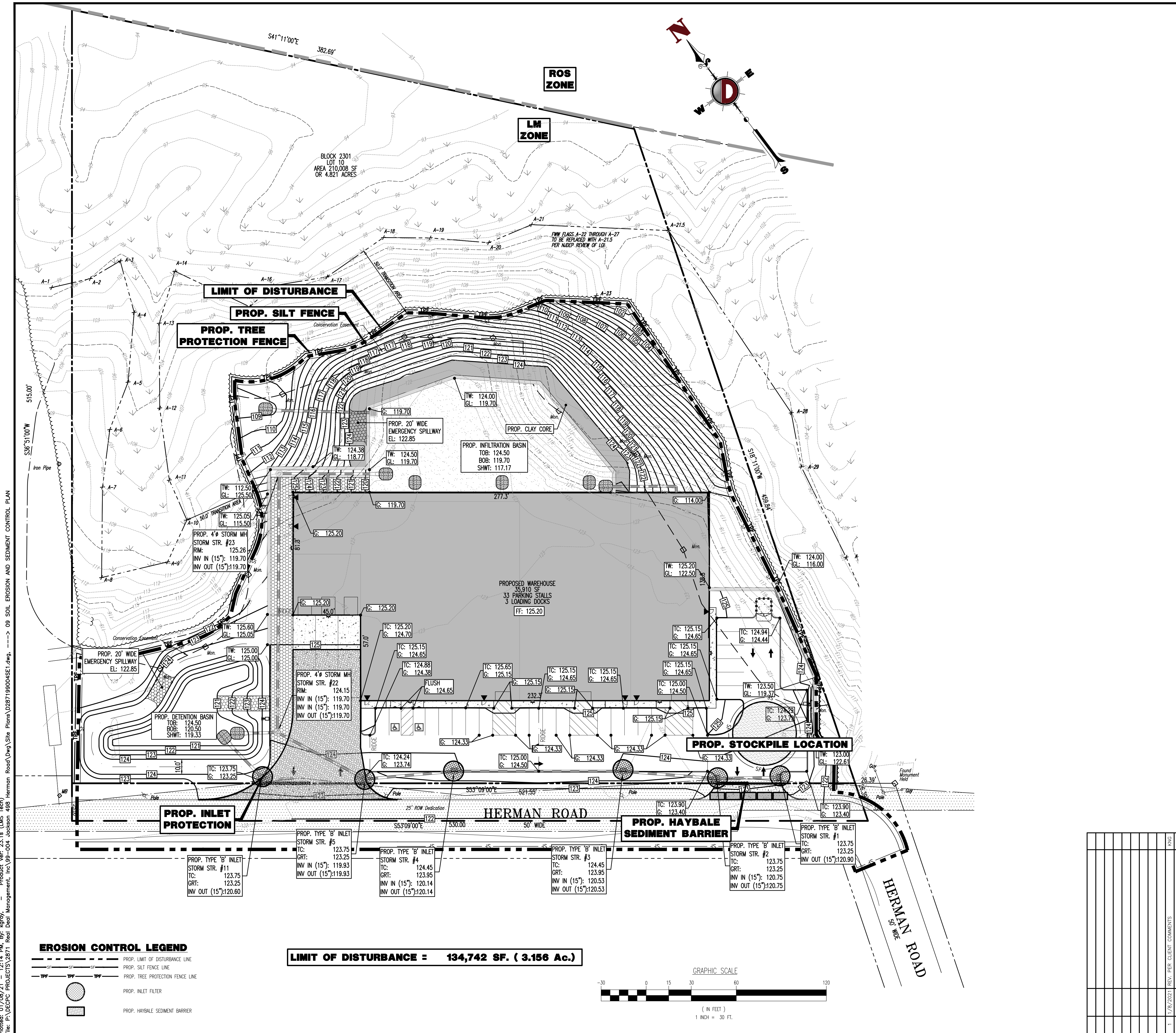
JOB No: 2871-99-004
DATE: 11/23/2020
DRAWN BY: GMC
DESIGNED BY: LPG
CHECKED BY: TJM
SCALE: (H) 1"=30'
(V)
SHEET No: **8** OF 15

THOMAS J. MULLER
Professional Engineer
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
Professional Engineer
NEW JERSEY LICENSE No. 41975

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SEQUENCE OF CONSTRUCTION:
 PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING.
 PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES INCLUDING EXCAVATION.
 PHASE 3: EXCAVATION, CONSTRUCTION, AND STABILIZATION OF DETENTION BASIN(S), EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
 PHASE 4: EXCAVATE FOR BUILDING FOUNDATION.
 PHASE 5: COMPLETE BUILDING CONSTRUCTION.
 PHASE 6: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND PIPING, AND DRAINAGE STRUCTURES.
 PHASE 7: FINAL GRADING ON SITE.
 PHASE 8: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.

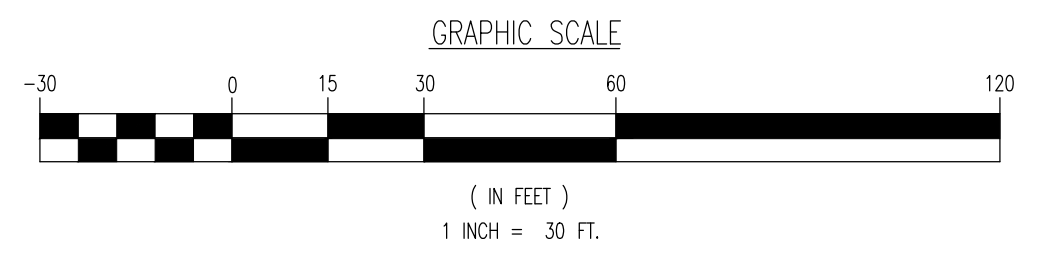
SOIL EROSION & SEDIMENT CONTROL NOTES:
 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BE RETURNED IN ACCORDANCE WITH THE STATE STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDERS).
 3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
 4. STABILIZATION SPECIFICATIONS - TEMPORARY SEEDING AND MULCHING:
 - LIME - 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
 - SEEDS:
 COOL SEASON:
 PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 WARM SEASON:
 PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 5. TEMPORARY BARRIERS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS IN ACCORDANCE WITH THE STATE STANDARDS.
 6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, SUB-BASE WILL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
 7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DELIVERED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACK FILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER 3:1).
 9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
 10. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES MUST BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
 11. A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED IMMEDIATELY AFTER INITIAL SITE DISTURBANCE AND WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. BLANKET SHALL BE 1-1/2" TO 2" CRUSHED STONE AND AT LEAST 30' X 100', AND MUST BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
 12. MAXIMUM SLOPE OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
 13. ANY INDIVIDUAL ACCESS ROADS OR DRIVES MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THAT AREA.
 14. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
 15. ALL CATCH BASIN INLETS MUST BE PROTECTED WITH A CRUSHED STONE OR HAY BALE FILTER (SEE DETAIL).
 16. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUT FALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
 17. ALL DE-WATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL).
 18. PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
 19. PERMANENT STABILIZATION SPECIFICATIONS: SEEDING

20. PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
 A. MULCH MATERIALS TO BE UNROTATED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT.
 B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
 C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 (1) PEG AND TWINE
 (2) MULCH NETTING
 (3) LIQUID MULCH-BINDERS
 21. ALL UNSTABILIZED AREAS TO BE SPRINKLED WITH WATER UNTIL WET AT THE BEGINNING OF EACH DAY TO CONTROL DUST.
 22. ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION.
 23. AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL NOT SUITABLE TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER WILL BE REMOVED OR TREATED IN SUCH A WAY TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. (IF REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE PROVIDED).
 24. ALL SITE WORK FOR SITE PLANS WILL HAVE TO BE COMPLETED PRIOR TO THE SOIL CONSERVATION DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
 25. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION. THE DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE.
 26. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

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EROSION CONTROL LEGEND
 --- PROP. LIMIT OF DISTURBANCE LINE
 --- PROP. SILT FENCE LINE
 --- PROP. TREE PROTECTION FENCE LINE
 ○ PROP. INLET FILTER
 ■ PROP. HAYBALE SEDIMENT BARRIER

LIMIT OF DISTURBANCE = 134,742 SF. (3.156 Ac.)



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TITLE: **SOIL EROSION AND SEDIMENT CONTROL PLAN**

PROJECT: **498 HERMAN JACKSON, LLC
 PROPOSED WAREHOUSE**

JOB No: 2871-99-004
 DATE: 11/23/2020

DRAWN BY: GMC
 SCALE: (H) 1"=30'
 (V)

DESIGNED BY: LPG
 SHEET No:

CHECKED BY: TJM

CHECKED BY: -

THOMAS J. MULLER JOHN A. PALUS
 PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52179 NEW JERSEY LICENSE No. 41975

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9
 OF 15
 Rev. # 1

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.

2. SEEDBED PREPARATION
 - A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES ([HTTP://NJAES.RUTGERS.EDU/COUNTY/](http://njaes.rutgers.edu/county/)). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 4 WEEKS AFTER SEEDING.
 - B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - C. HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

3. SEEDING
 - A. PERMANENT VEGETATIVE MIXTURES & PLANTING RATES

(1) HARD FESCUE	175 LBS/ACRE	4 LBS/1000 SQ.FT.
(2) CHEWING FESCUE	175 LBS/ACRE	4 LBS/1000 SQ.FT.
(3) STRONG CREeping RED FESCUE	175 LBS/ACRE	4 LBS/1000 SQ.FT.
(4) PERENNIAL PRAIREGRASS	45 LBS/ACRE	1 LBS/1000 SQ.FT.
(5) KY. BLUEGRASS	45 LBS/ACRE	1 LBS/1000 SQ.FT.

4. MULCHING
 - A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE WILL BE COVERED FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH. DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST:

1. PEG AND TWINE
2. MULCH NETTINGS
3. CRUMPER MULCH ANCHORING COULTER TOOL
4. LIQUID MULCH-BINDERS

B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

C. PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDBED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFYING AGENT ARE NOT PRACTICAL OR DESIRABLE, APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

STANDARD FOR STABILIZATION WITH MULCH ONLY

1. SITE PREPARATION
 - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

2. PROTECTIVE MATERIALS
 - A. UNROTTED SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH-BINDERS, OR NETTING, OR OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS MAY BE APPLIED BY A HYDROSEEDER.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, DEXCELOR, COTTON, OR PLASTIC, MAY BE USED.
 - E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - F. CORNEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.

3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.
 - A. PEG AND TWINE
 - B. MULCH NETTINGS
 - C. CRUMPER MULCH ANCHORING COULTER TOOL
 - D. LIQUID MULCH-BINDERS

Soil Compaction Mitigation Notes

1. Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.
2. Restoration of compacted soils shall be through deep scarification (tillage 6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer may be substituted subject to District approval.
3. Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage 6" minimum depth) is proposed as part of the sequence of construction.

Topsoiling Notes

1. Topsoil should be handled only when it is dry enough to work without damaging soil structure.
2. A uniform application to an average depth of 5" (minimum 4") firmed in place is required.
3. Pursuant to the requirements in Section 7 of the Standard for Permanent Vegetative Stabilization, the contractor is responsible to ensure that permanent vegetative cover becomes established on at least 80% of the soils to be stabilized with vegetation. Failure to achieve the minimum coverage may require additional work to be performed.

Additional Notes For Projects With Basins

1. Basin must be properly constructed and permanently stabilized, and conduit outlet protection installed, prior to the drainage system becoming operational.
2. The Standards for Soil Erosion and Sediment Control have specific requirements for topsoiling, the installation of soil, temporary and/or permanent vegetative cover and land grading. The text found on pages 4-1 (sec. 1B), 6-2 (sec. 2D), 7-1 (sec. 1C), 8-2 (sec. 3D) and 19-4 (second to last section) serve to help minimize soil compaction and reduce maintenance.
3. Ownership and responsibility for the operation and maintenance of the detention structure must be determined during design and shown on the plans and on the completed "Hydraulic and Hydrologic Data Base Summary Form." To be effective over a long period of time, the structure must be properly maintained.

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- C. IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

2. SEEDBED PREPARATION
 - A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILED IN ACCORDANCE WITH THE ABOVE.
 - D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS, PG. 1-1.

3. SEEDING
 - A. TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTHS
 - COOL SEASON GRASSES:
 - (1) PERENNIAL RYEGRASS - 100 LBS / ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 0.5 INCHES.
 - (2) SPRING OATS - 86 LBS / ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - (3) WINTER BARLEY - 86 LBS / ACRE; PLANT BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - (4) ANNUAL RYEGRASS - 100 LBS / ACRE; PLANT BETWEEN MARCH 1 AND JUNE 15 BETWEEN AUGUST 1 AND SEPTEMBER 15; AT A DEPTH OF 0.5 INCHES.
 - (5) WINTER CEREAL RYE - 112 LBS / ACRE; PLANT BETWEEN AUGUST 1 AND NOVEMBER 15; AT A DEPTH OF 1.0 INCHES.
 - WARM SEASON GRASSES:
 - (1) PEARL MILLET - 20 LBS / ACRE; PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
 - (2) MILLET (GERMAN OR HUNGARIAN) - 30 LBS / ACRE; PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.

4. MULCHING
 - A. STRAW OR HAY, UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRUMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.

APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET WITHIN EACH SECTION.

ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST:

1. PEG AND TWINE
2. MULCH NETTINGS
3. CRUMPER MULCH ANCHORING COULTER TOOL
4. LIQUID MULCH-BINDERS

B. WOOD-FIBER OR PAPER-FIBER MULCH, SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

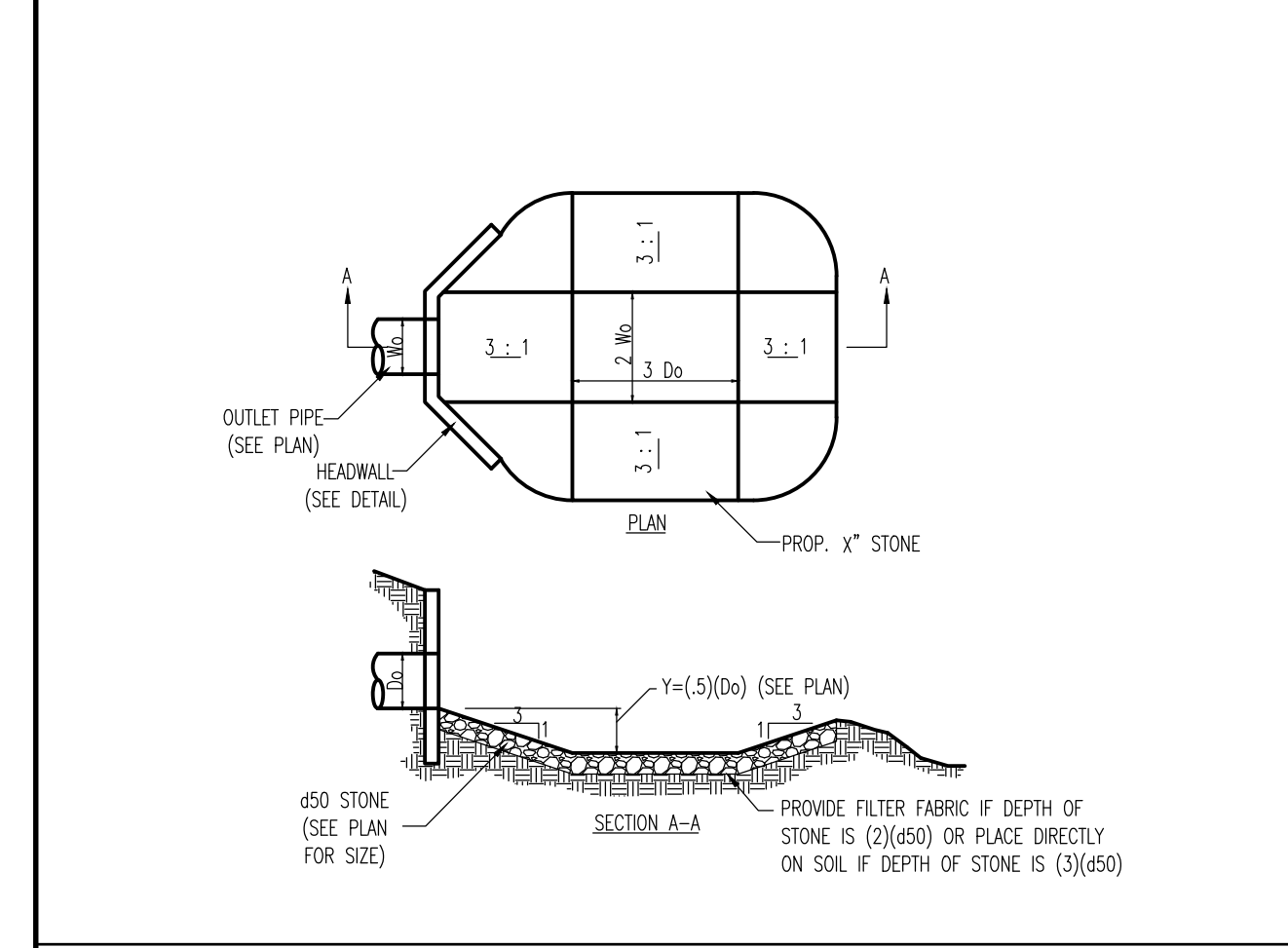
C. PELLETIZED MULCH, COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDBED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFYING AGENT ARE NOT PRACTICAL OR DESIRABLE,

APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. The Ocean County Soil Conservation District shall be notified forty-eight (48) hours in advance of any land disturbance. All work is to be done in accordance with the State Standards for Soil Erosion and Sediment Control in New Jersey. All Soil Erosion and Sediment Control practices are to be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
2. Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District. The revised plans must meet all current "The Standards for Soil Erosion and Sediment Control in New Jersey, 7th Edition, January 2014, Revised July 2017. [Link to 2014 Standards: http://www.state.nj.us/natural/cultural/division/soil/soilerosion.html](http://www.state.nj.us/natural/cultural/division/soil/soilerosion.html)
3. N.J.S.A. 4:24-39 et seq. requires that a Certificate of Occupancy be issued before there has been compliance with provisions of a certified plan for permanent measures. All site work, and all work around individual lots in subdivisions, must be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.
4. Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material within 14 days, at a rate of 2 to 2 1/2 tons per acre, according to State Standard for Stabilization with Mulch Only.
5. Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 1 1/2 to 2 tons per acre, according to State Standards.
6. A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
7. Any steep slopes (3:1 or greater) or any existing roadways receiving pipeline installation will be backfilled and stabilized daily, as the installation continues.
8. The Standard for Stabilized Construction Access requires the installation of a stone pad using clean crushed angular stone (ASTM C-33, size No. 2 or 3) at all construction driveways where vehicles will access paved roadways from unpaved areas of the site.
9. All sediment washed, dropped, spilled, or tracked onto roadways (public or private) or other impervious surfaces will be removed immediately.
10. Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading. At the time of the final inspection, you are required to provide confirmation that the proper type and amount of seed, lime and fertilizer have been used for permanent stabilization work. Straw mulch is required on all seeding.
11. At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
12. In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be covered with a minimum of twelve (12) inches of soil having a pH of 5 or more prior to seedbed preparation. Areas where trees or shrubs are to be planted shall be covered with a minimum of twenty-four (24) inches of soil having a pH of 5 or more.
13. Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational. Conduit outlet protection is not required in basins acting as sediment basins during construction.
14. Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
15. Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
16. Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. The District reserves the right to determine when certification of a new and separate Soil Erosion and Sediment Control Plan will be required for these activities.
17. All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6. Stockpiles should be situated so as to not obstruct natural drainage or cause off-site environmental damage.
18. The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.

Ocean County Soil Conservation District
714 Lacey Road, Forked River, NJ 08731, (609) 971-7002, Fax: (609) 971-3391, Email: info@soildistrict.org.
Version: February 19, 2019



PREFORMED SCOUR HOLE DETAIL

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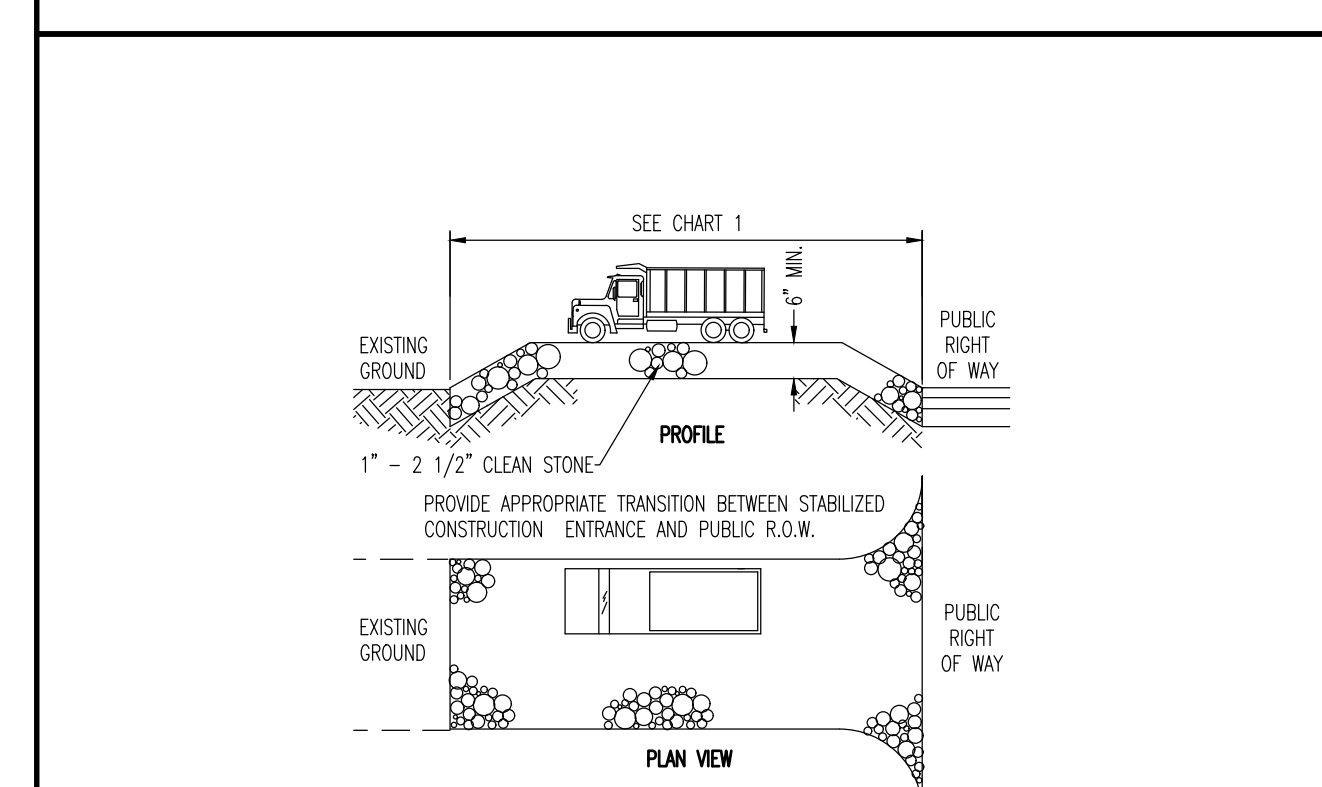


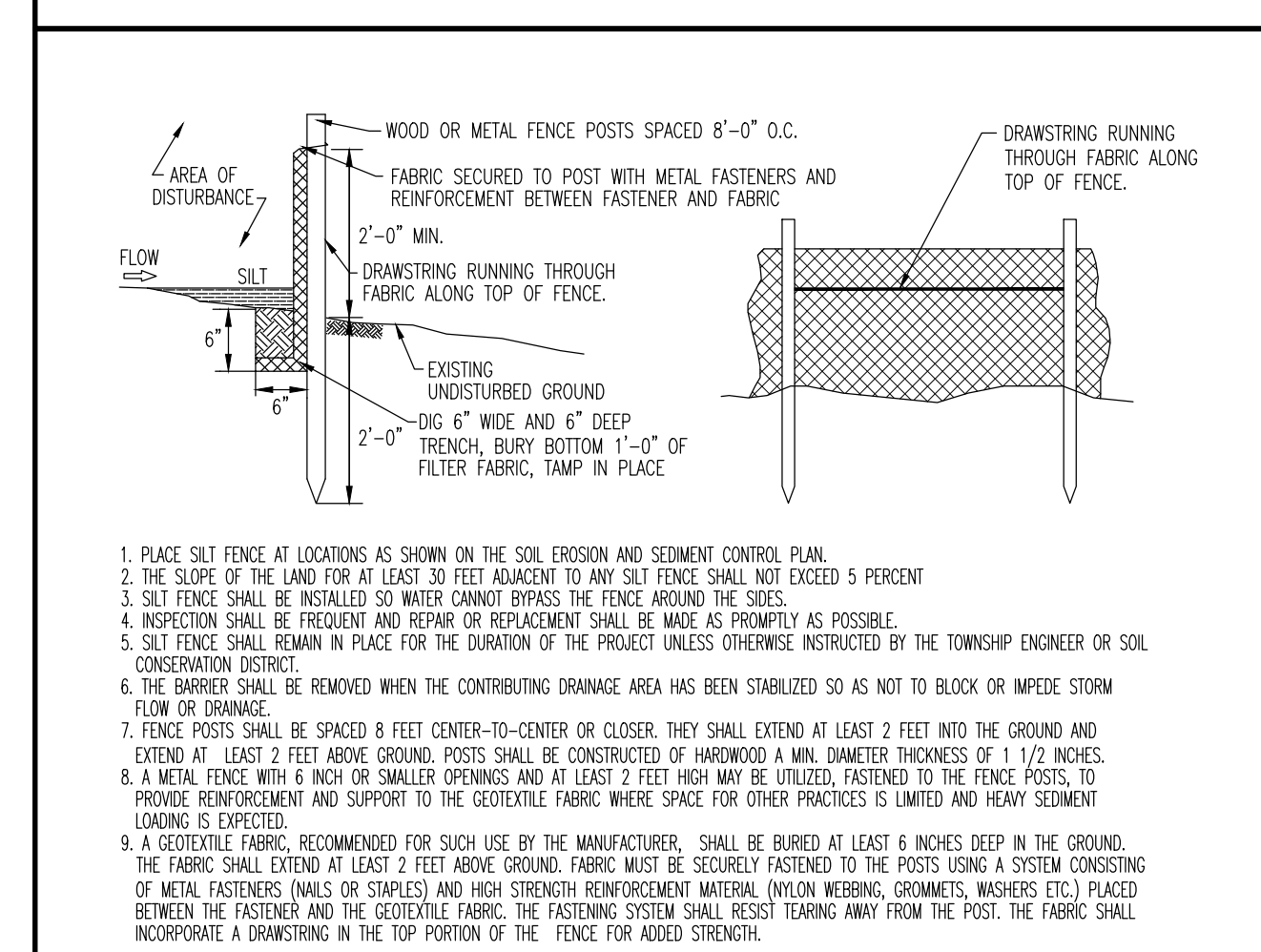
CHART 1

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	COARSE GRAINED SOILS FINE GRAINED SOILS
2% TO 5%	50 FT 100 FT
5% TO 8%	100 FT 200 FT
>8%	200 FT 400 FT

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

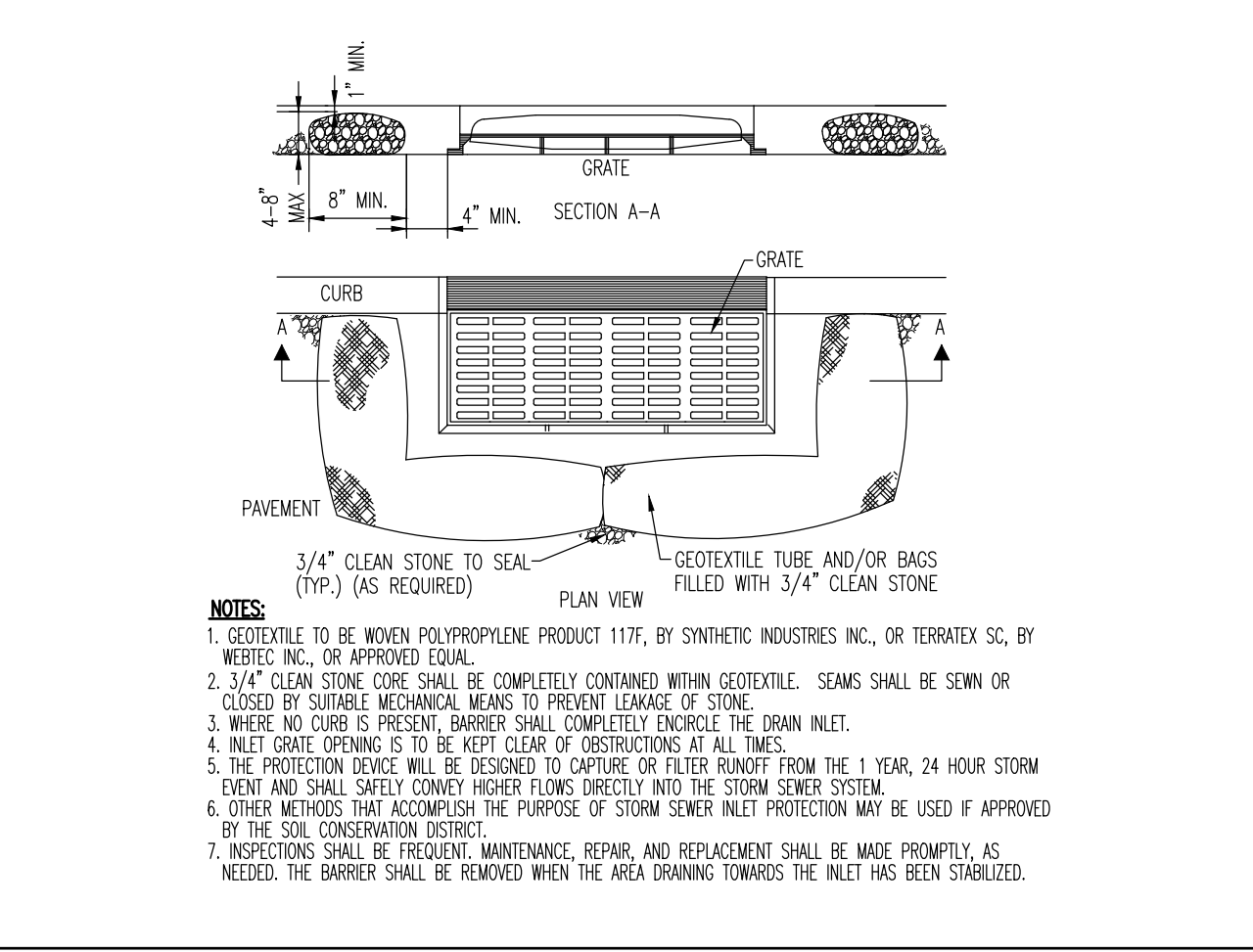
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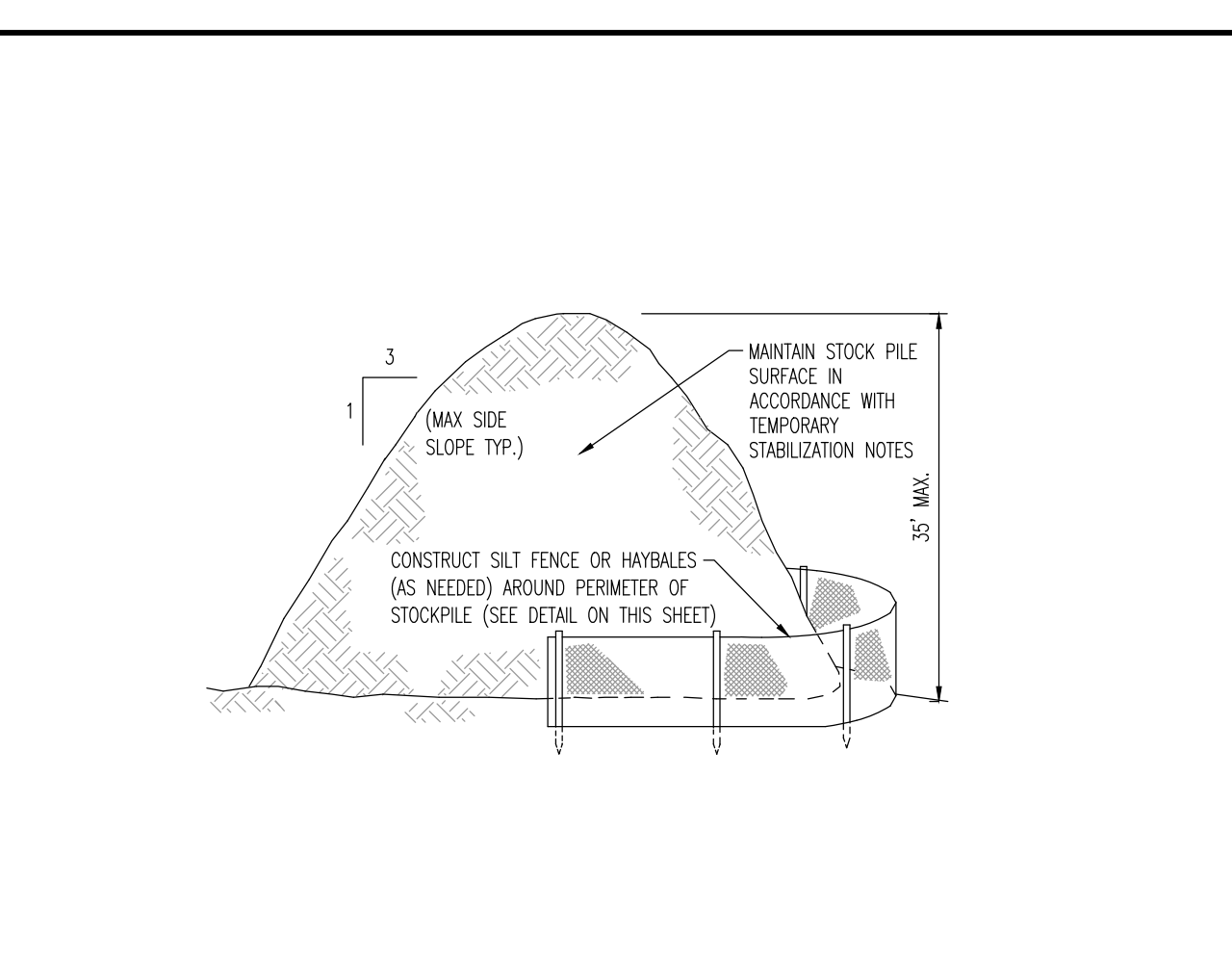
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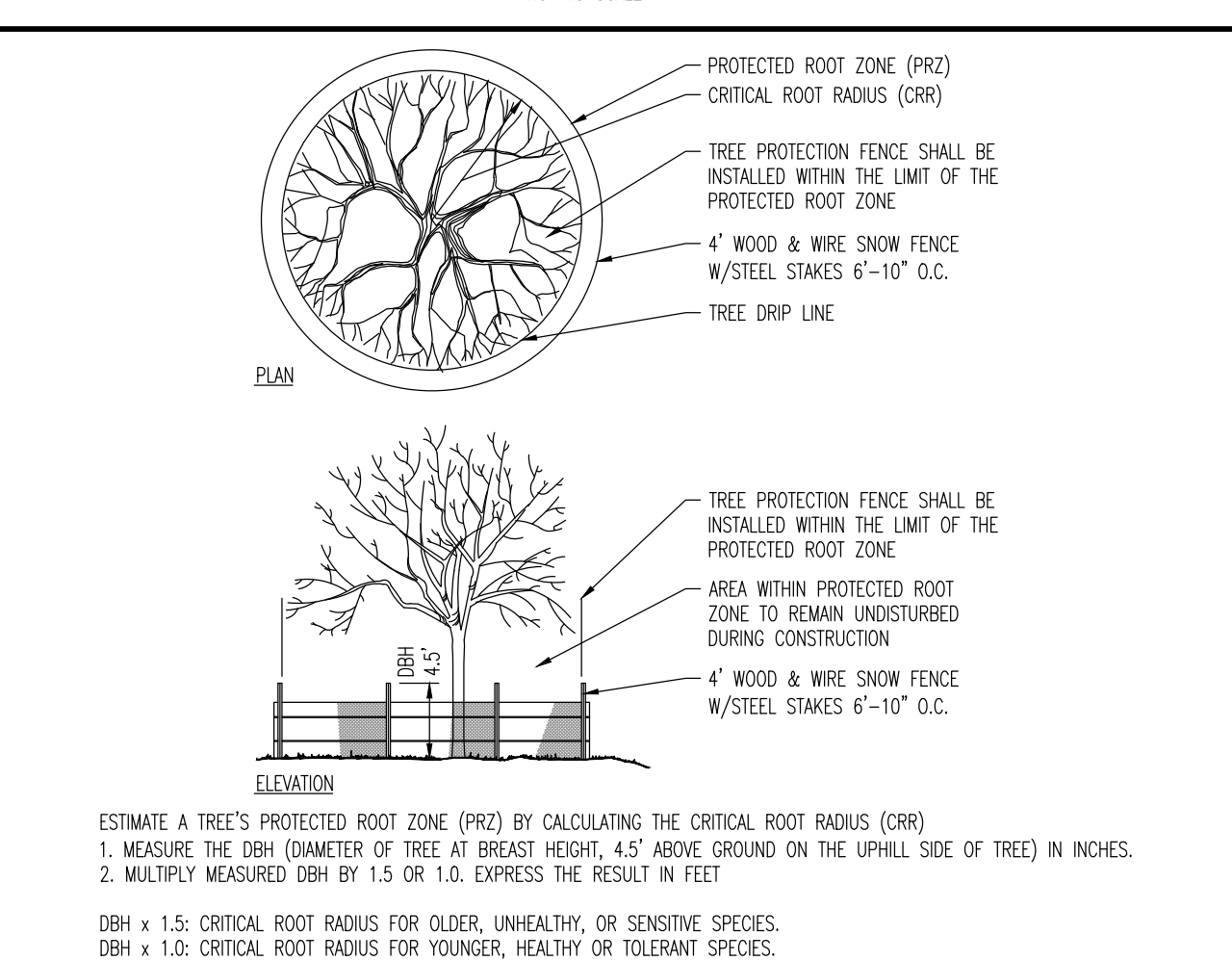
INLET FILTER DETAIL

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TEMPORARY STOCKPILE DETAIL

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TREE PROTECTION DURING SITE CONSTRUCTION DETAIL

NOT TO SCALE

STANDARD FOR DUST CONTROL

DEFINITION - THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS.
PURPOSE - TO PREVENT FLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.
WHERE APPLICABLE - THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - SEE STANDARDS FOR STABILIZATION WITH MULCHES ONLY
VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER, PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOIL
SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON ROCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT	7:1	COARSE SPRAY	1,200
EMULSION			
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EROSION MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN BLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURIAL FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 New Orleans, Louisiana 1-225.685.0274 | Dallas, Texas 1-214.921.8570

TITLE: **SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

PROJECT: **498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE**

BLK/CK - 2301, LOT 10
498 HERMAN ROAD
TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

JOB No: 2871-99-004 (DATE: 11/23/2020)

DRAWN BY: AJH (SCALE: (H) NOT TO (V) SCALE)

DESIGNED BY: LPG (SHEET No:)

CHECKED BY: TJM

CHECKED BY: -

THOMAS J. MULLER

Thomas J. Muller

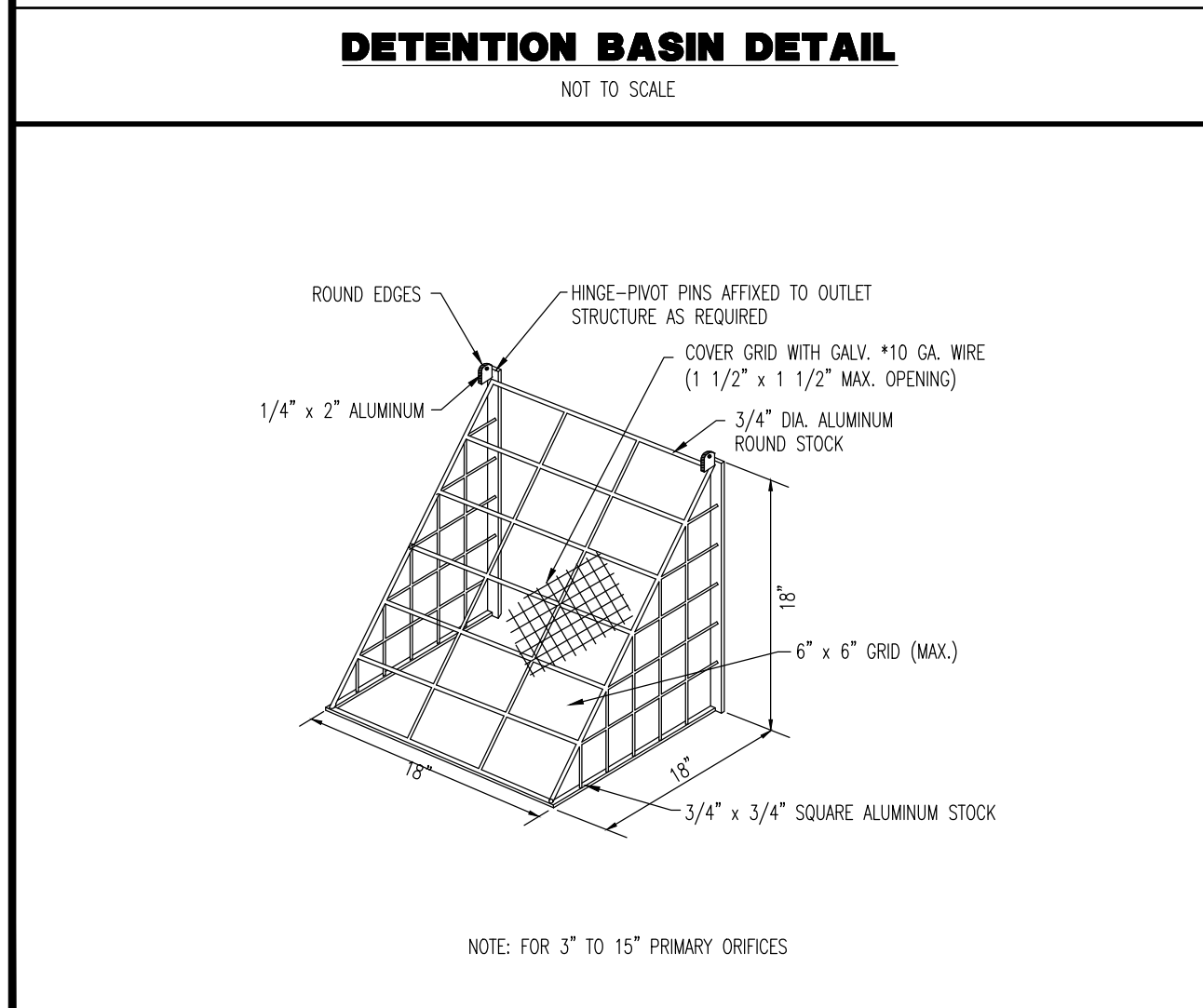
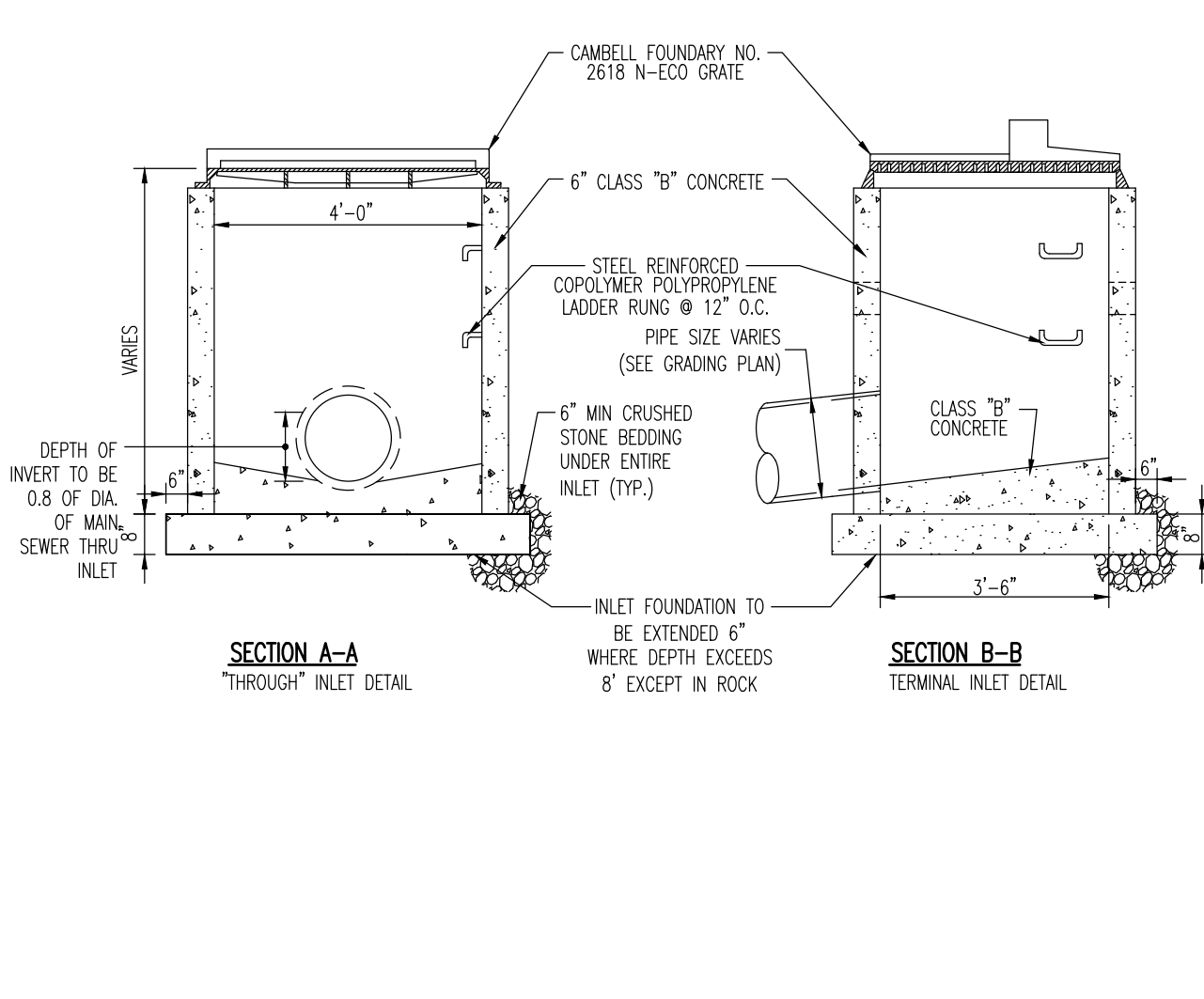
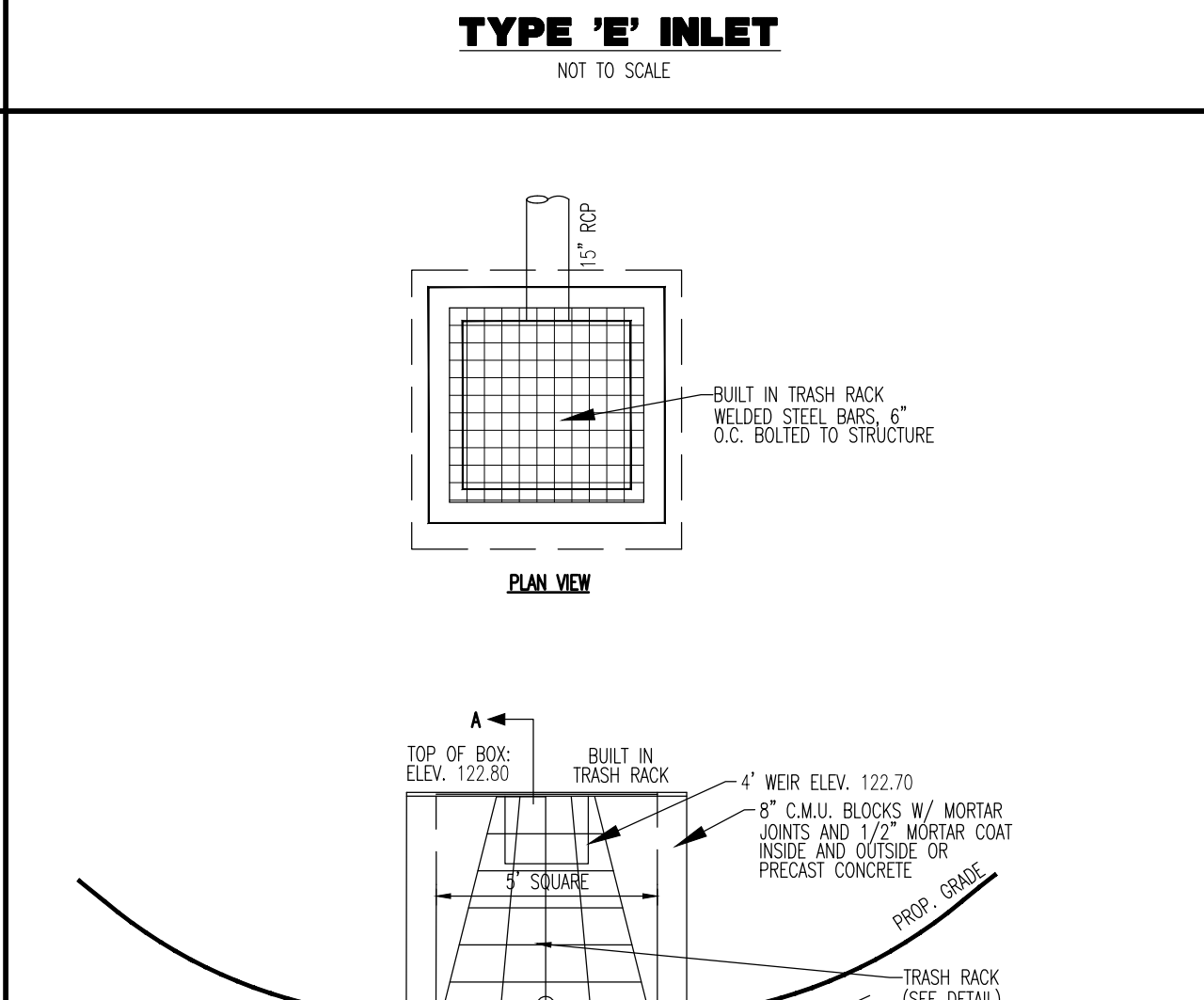
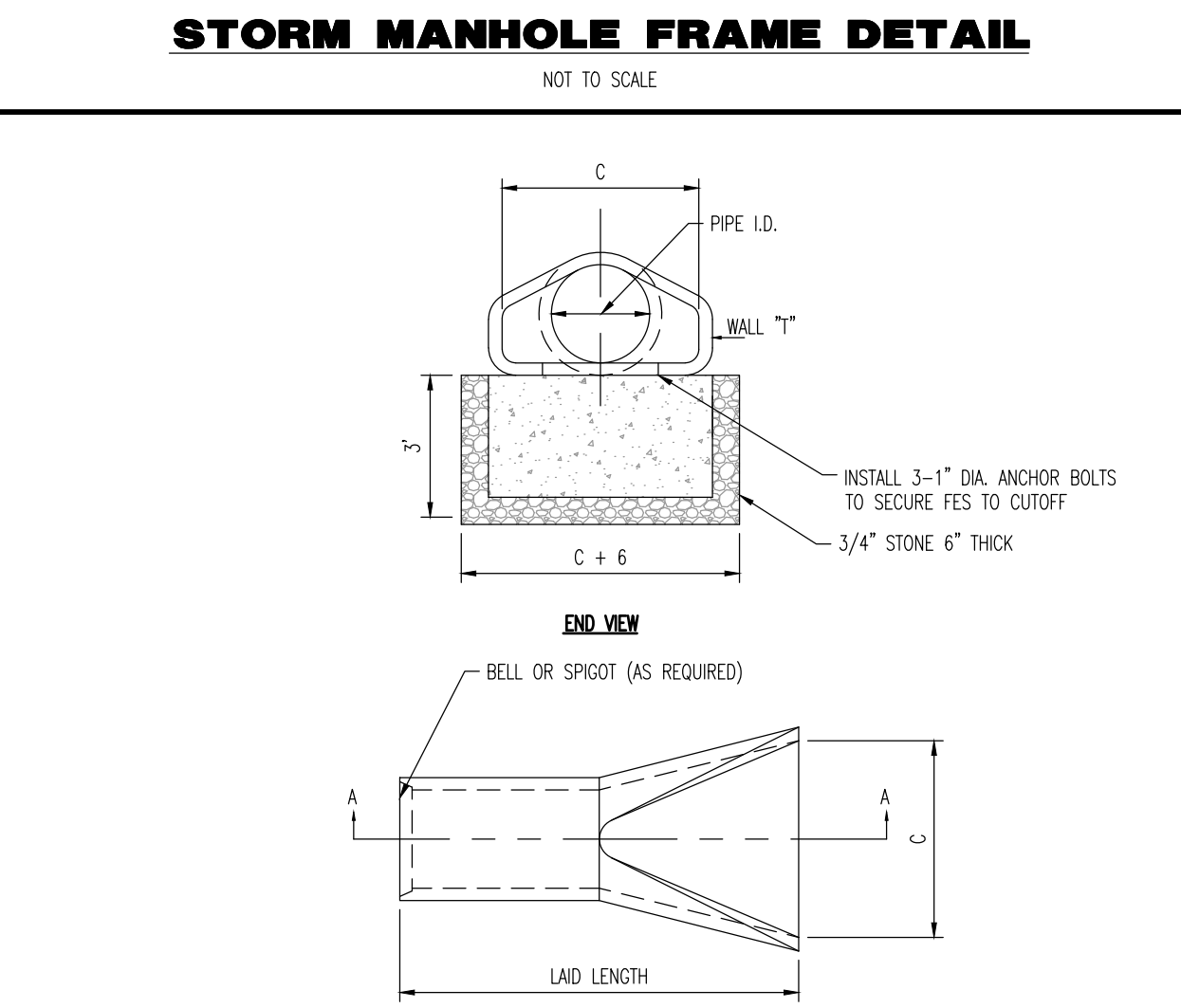
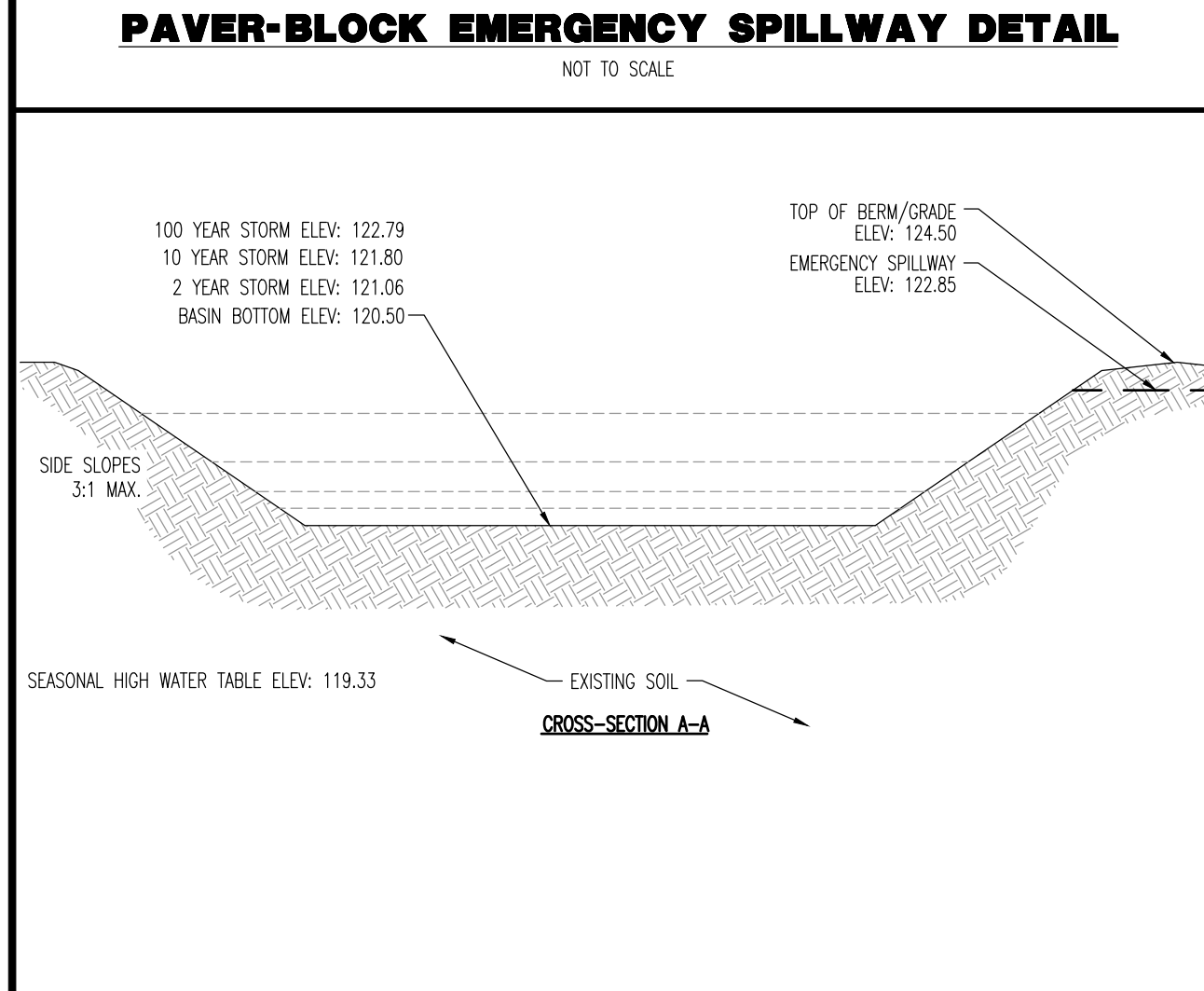
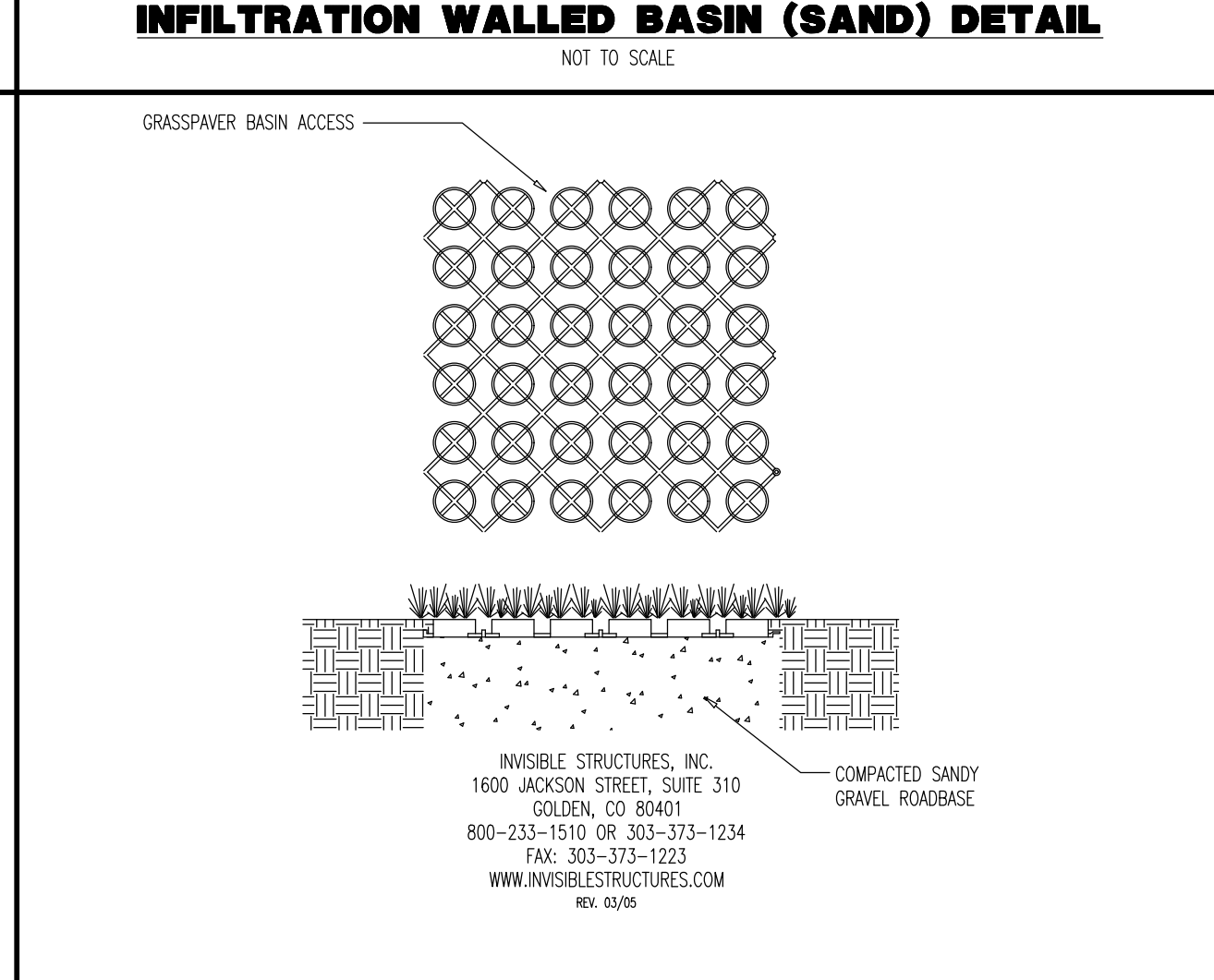
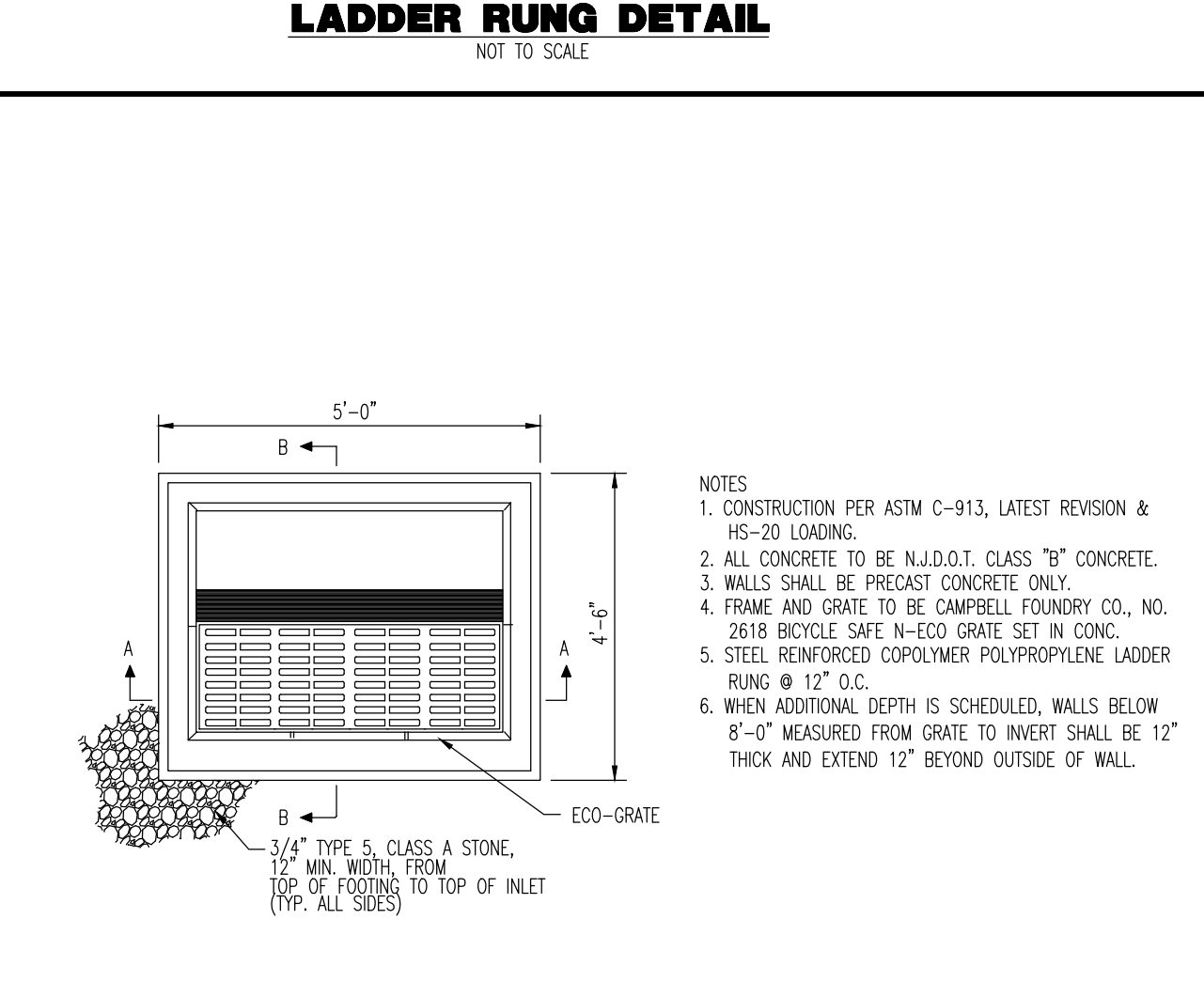
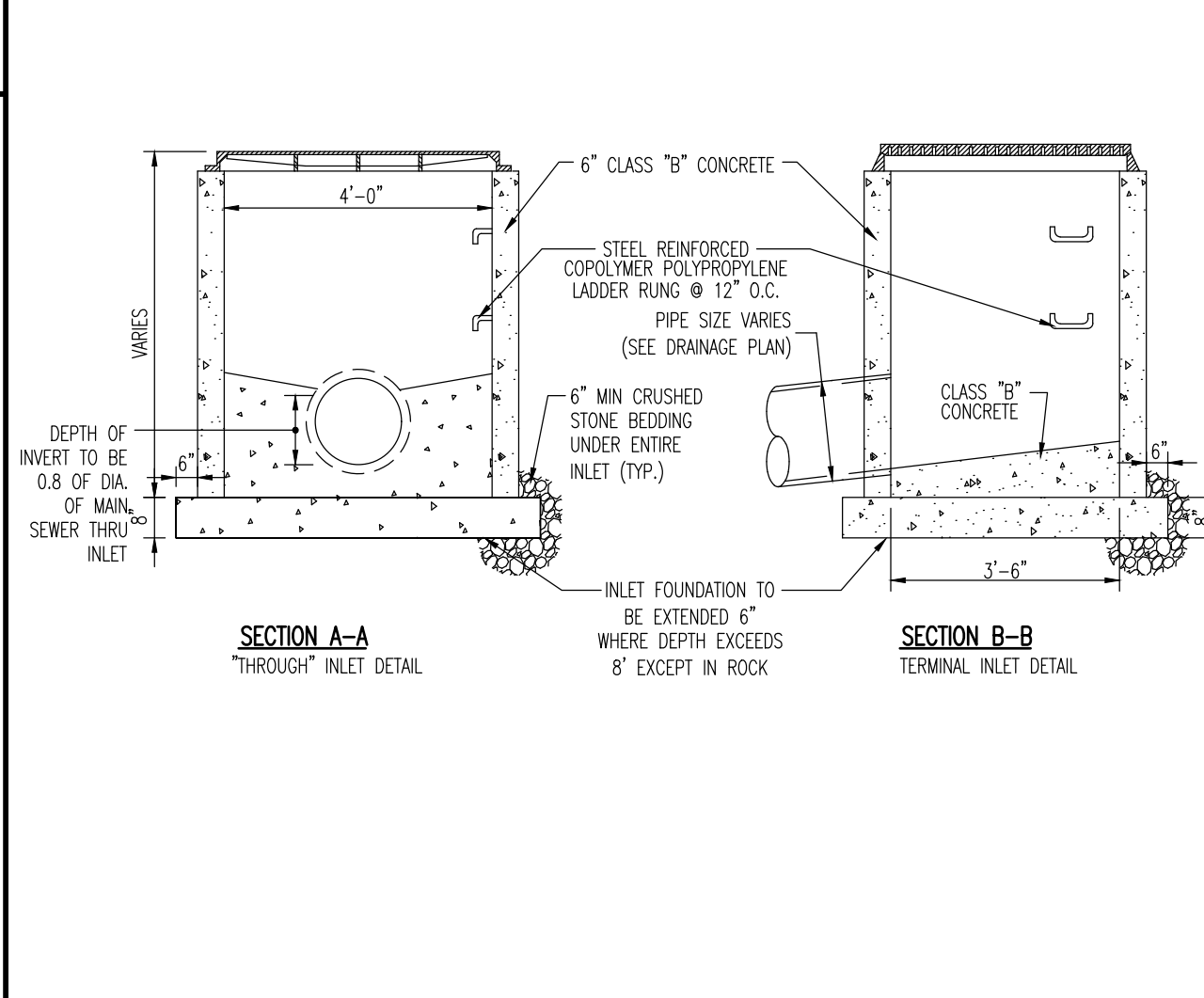
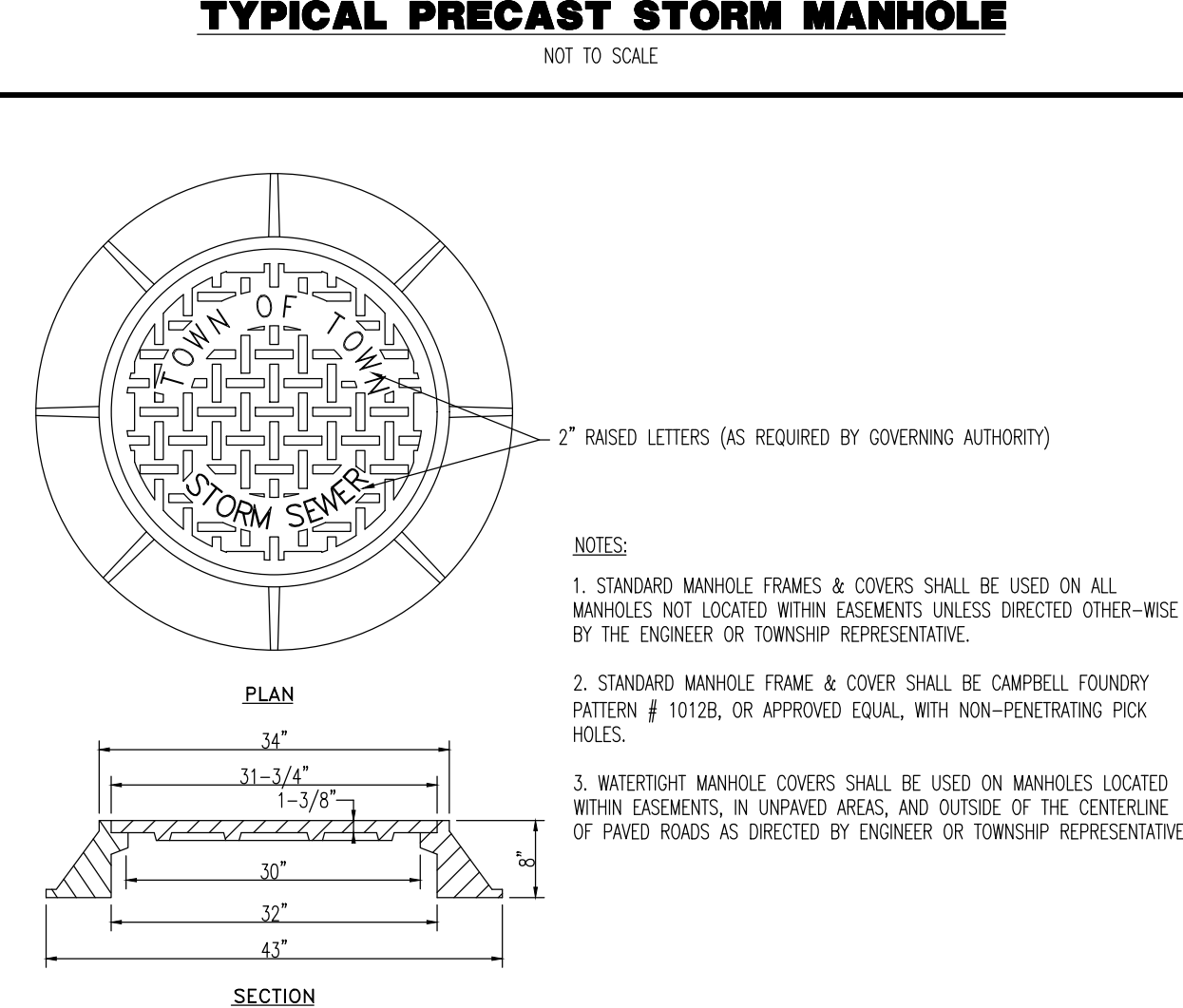
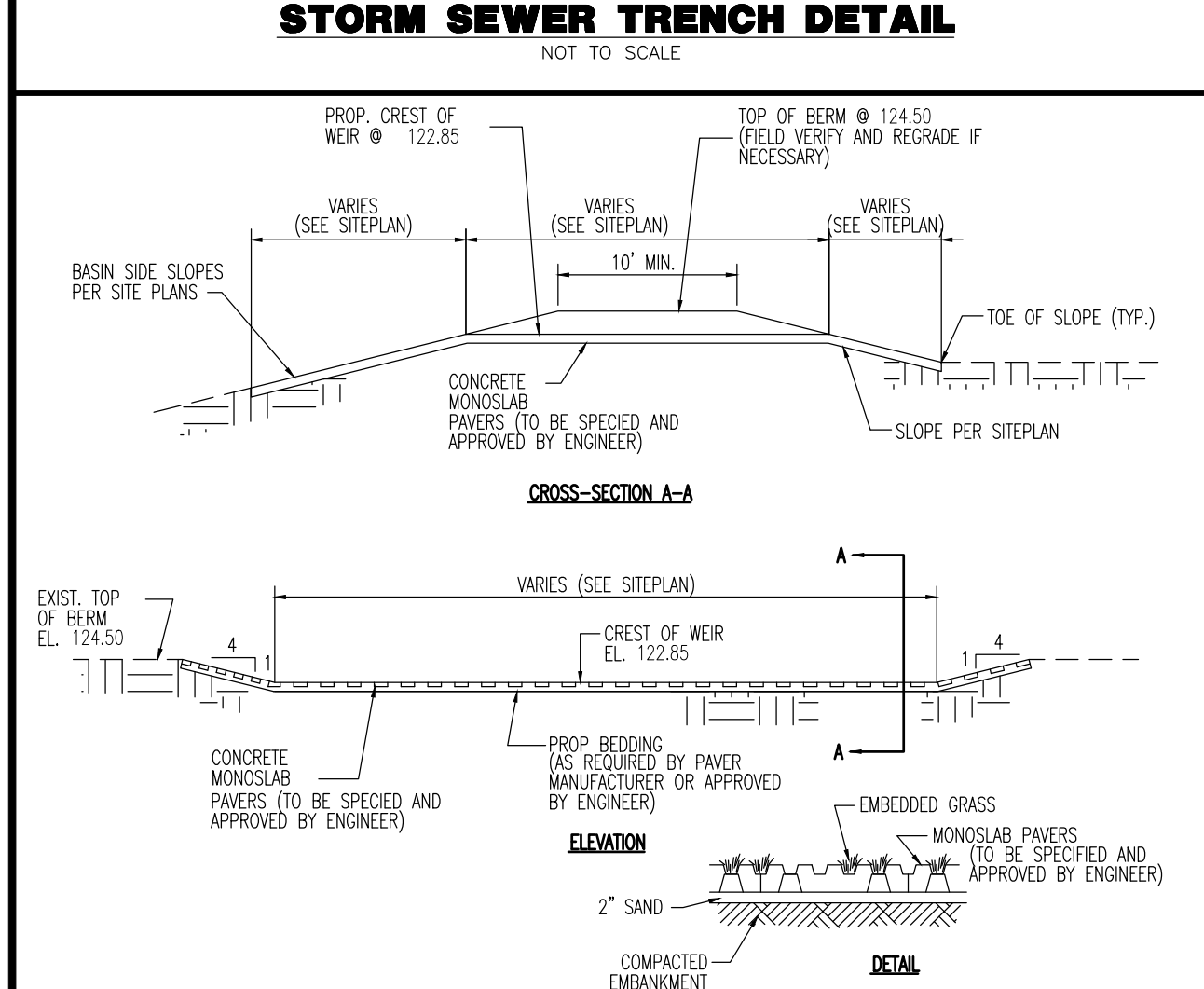
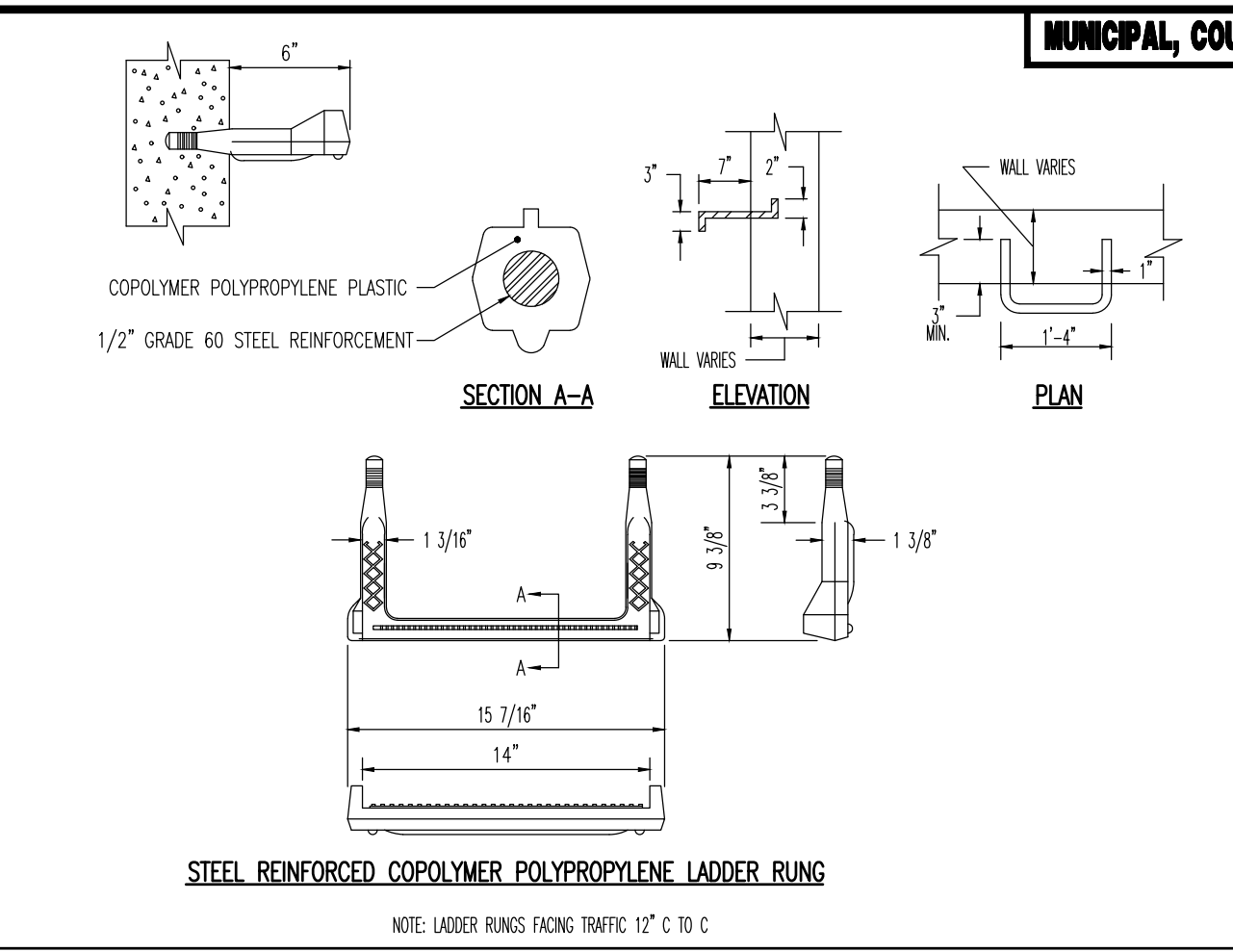
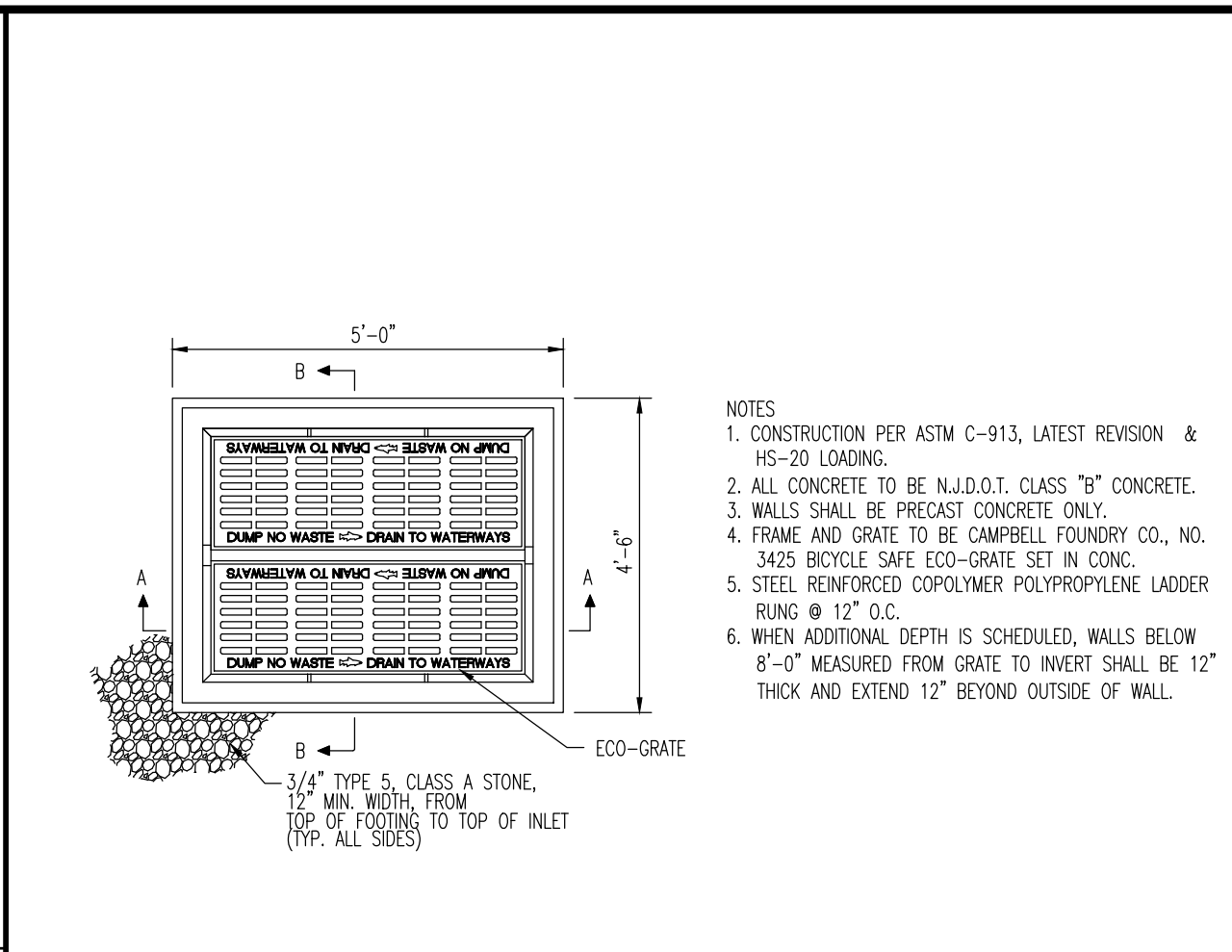
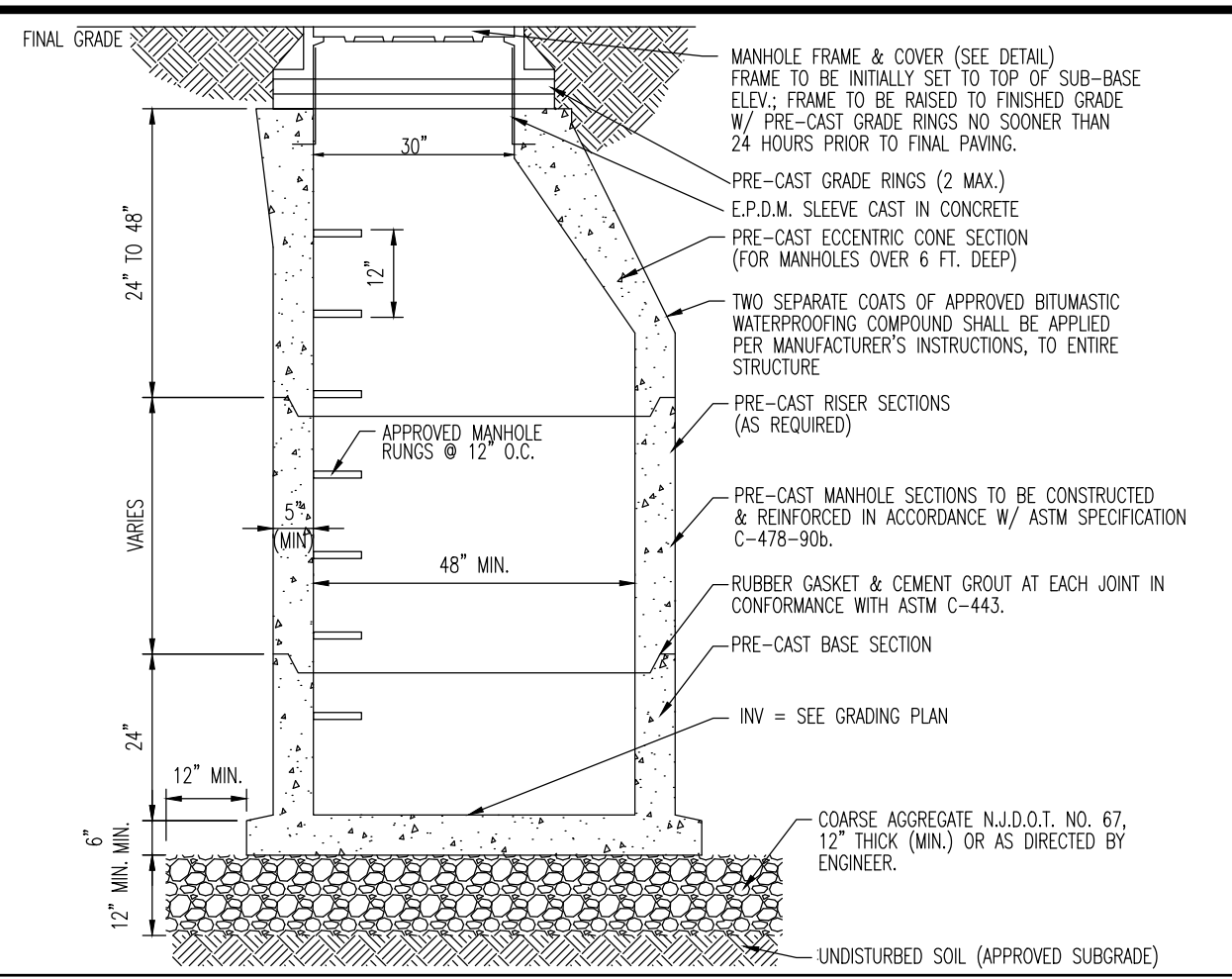
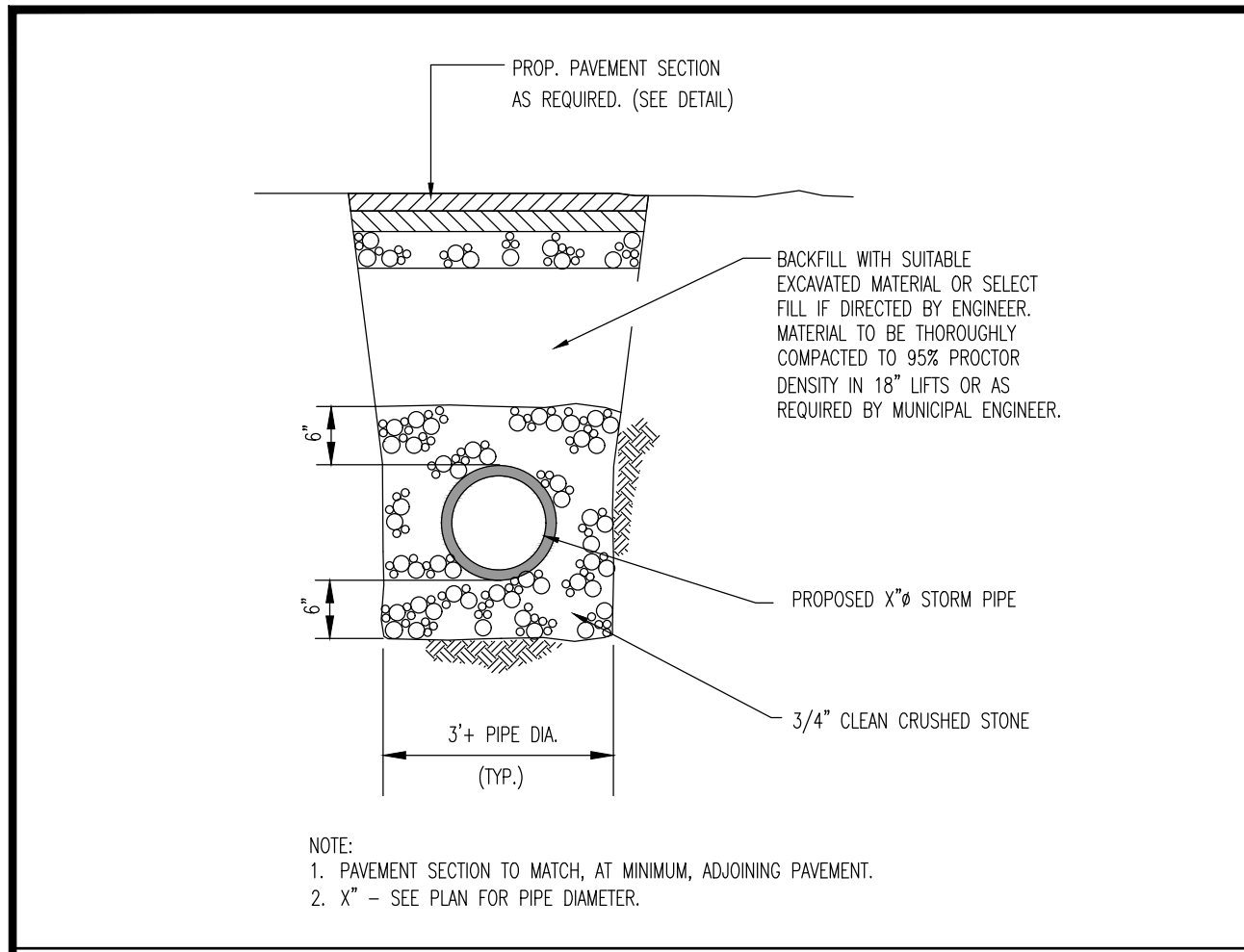
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JOHN A. PALUS

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

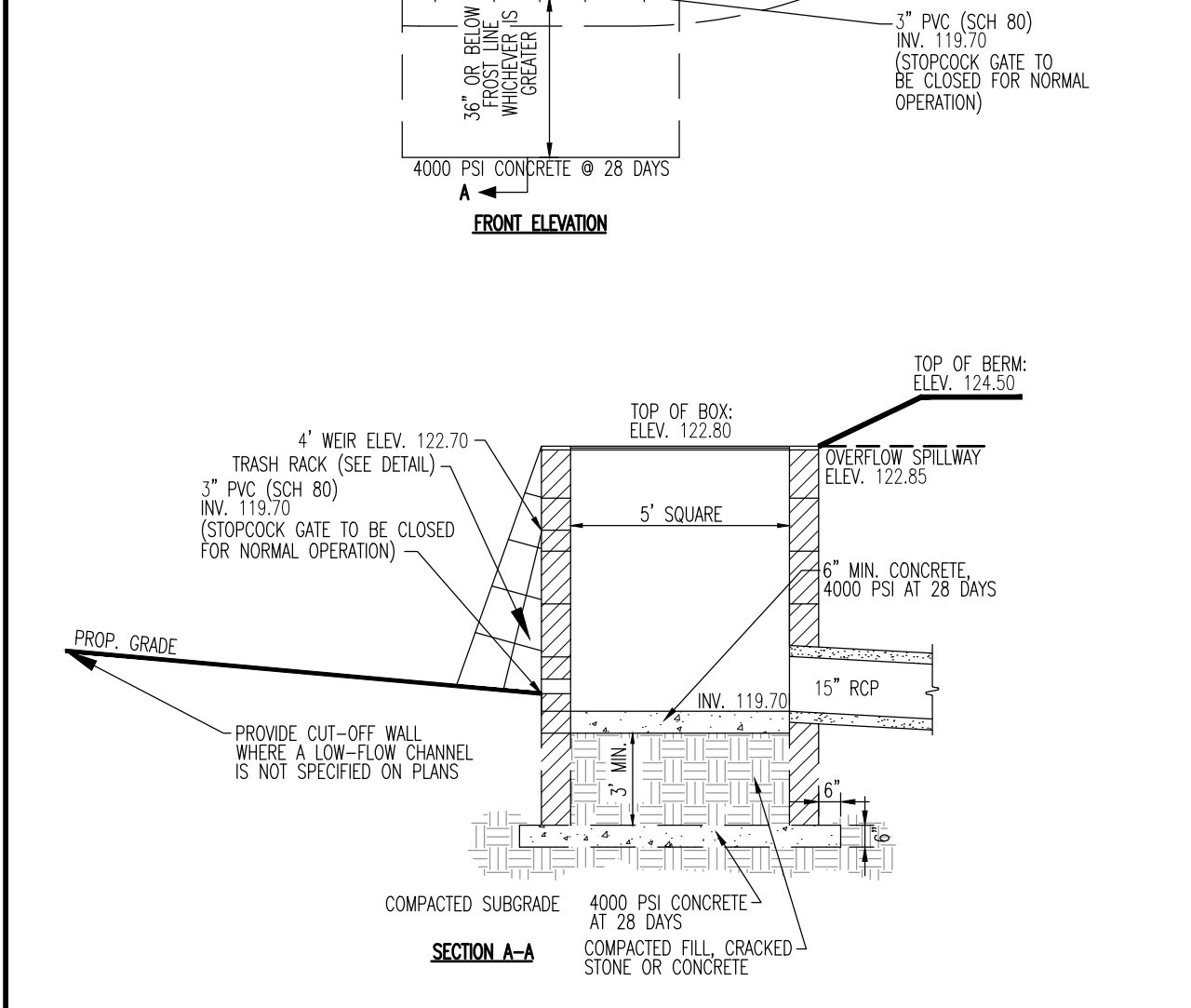
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Rev. # 1



CONCRETE FLARED END SECTIONS
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INSIDE DIA. IN.	A IN.	B IN.	C IN.	D IN.	E IN.	LAD LENGTH FT.	WEIGHT	WALL THICK IN.
12	49	24	24	4	13	6.00	530	2
15	46	27	30	6	16	6.08	740	2 1/4
18	46	27	36	9	19	6.08	990	2 1/2
21	38	35	42	9	22	6.08	1280	2 3/4
24	30	44	48	9 1/2	25	6.17	1520	3
27	26	48	54	10 1/2	28	6.17	1930	3 1/4
30	20	54	60	12	31	6.17	2190	3 1/2
36	35	63	72	15	37	8.17	4100	4
42	35	63	72	21	43	8.17	5380	4 1/2
48	26	72	84	24	49	8.17	6550	5
54	35	65	90	27	55	8.33	8040	5 1/2
60	39	60	96	30	61	8.25	8750	6



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Allen, Texas | 972.324.2100 | Austin, Texas | 512.444.2444 | Houston, Texas | 281.789.6400
Newtown, Pennsylvania | 215.852.0078 | Dallas, Texas | 214.921.8570

TITLE: **CONSTRUCTION DETAILS**

PROJECT: **498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE**
BLOCK 2301, LOT 10
498 HERMAN ROAD
TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

JOB No: 2871-99-004
DATE: 11/23/2020
DRAWN BY: AJH
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: LPG
SHEET No:
CHECKED BY: TJM
CHECKED BY: -

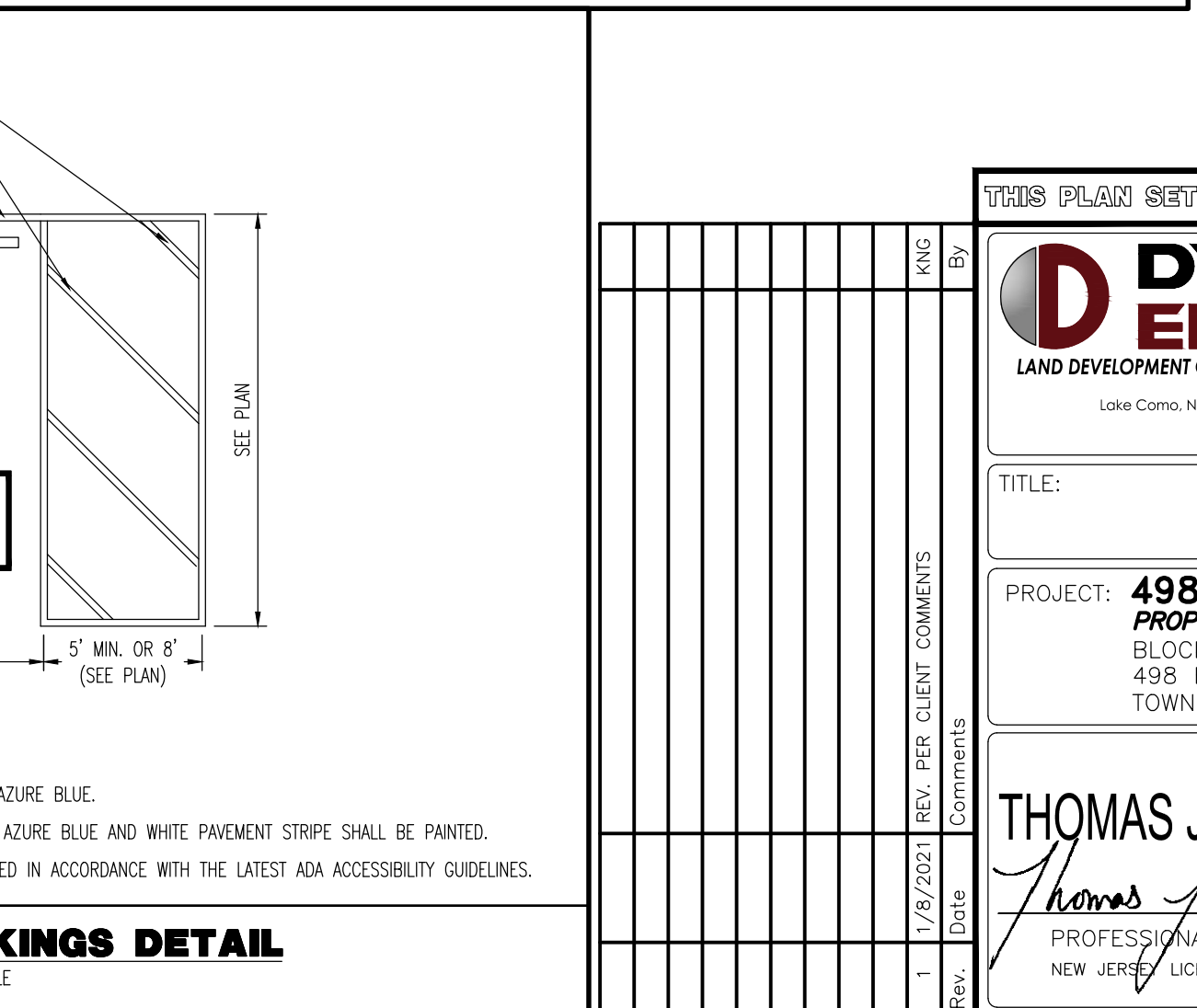
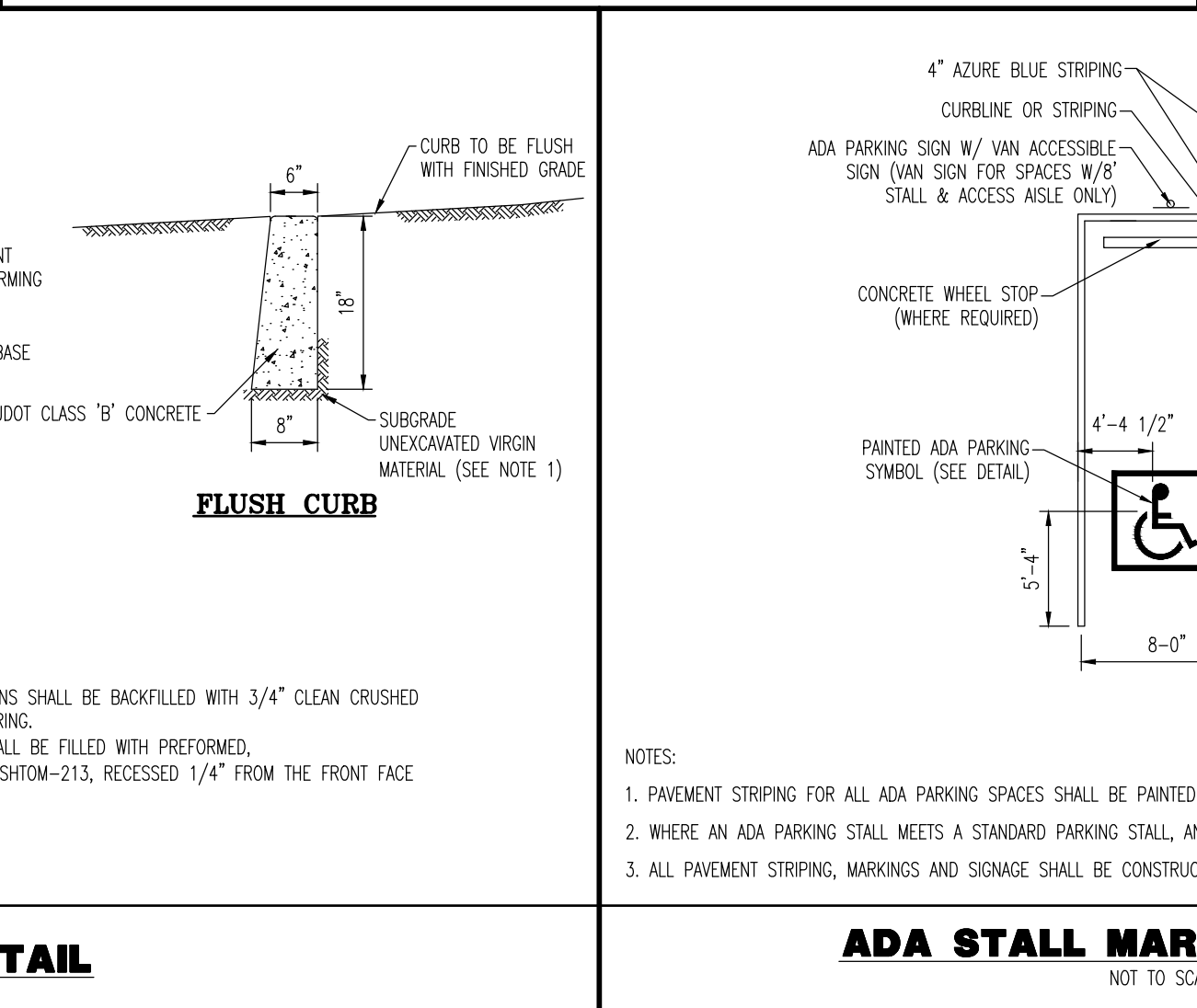
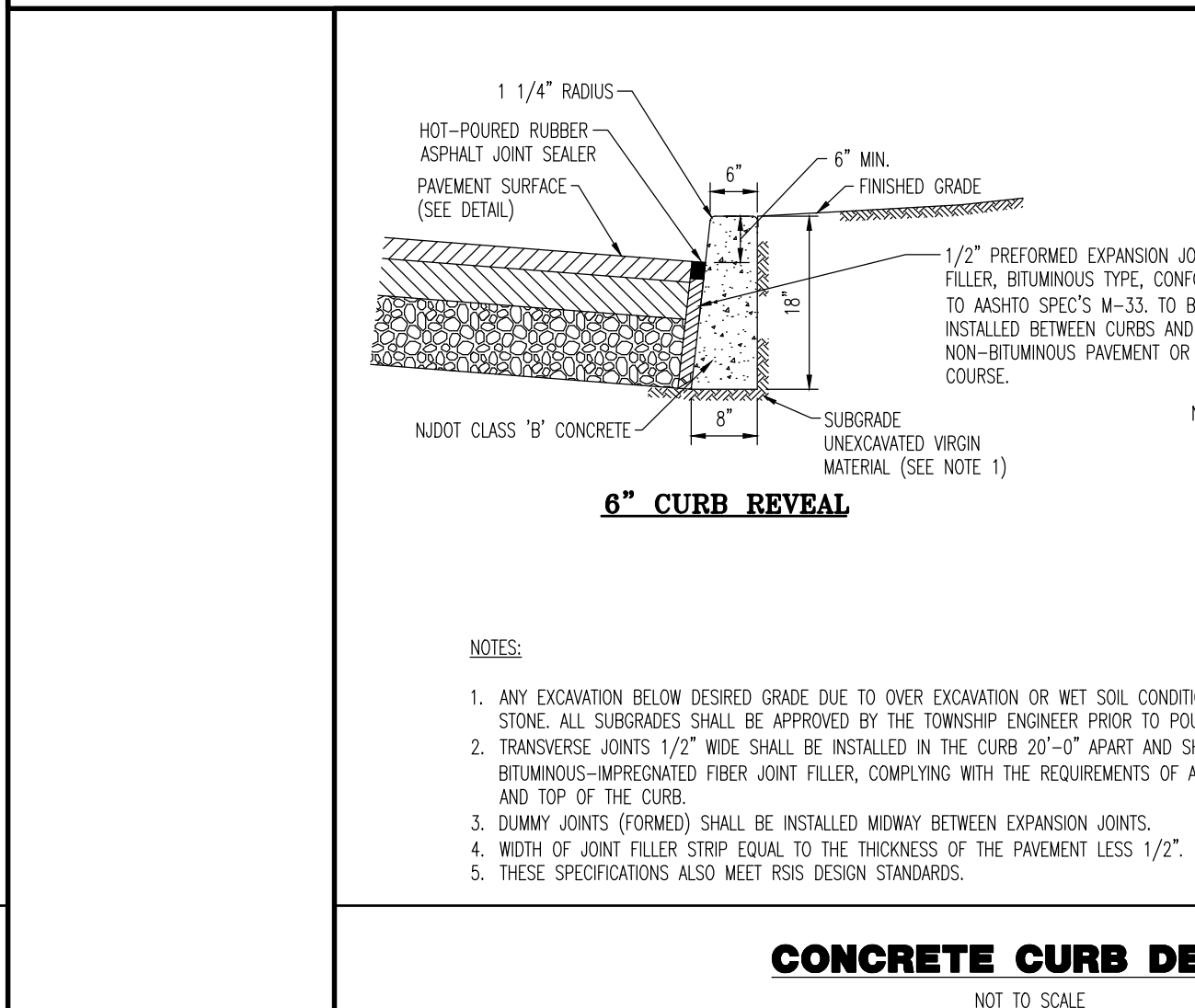
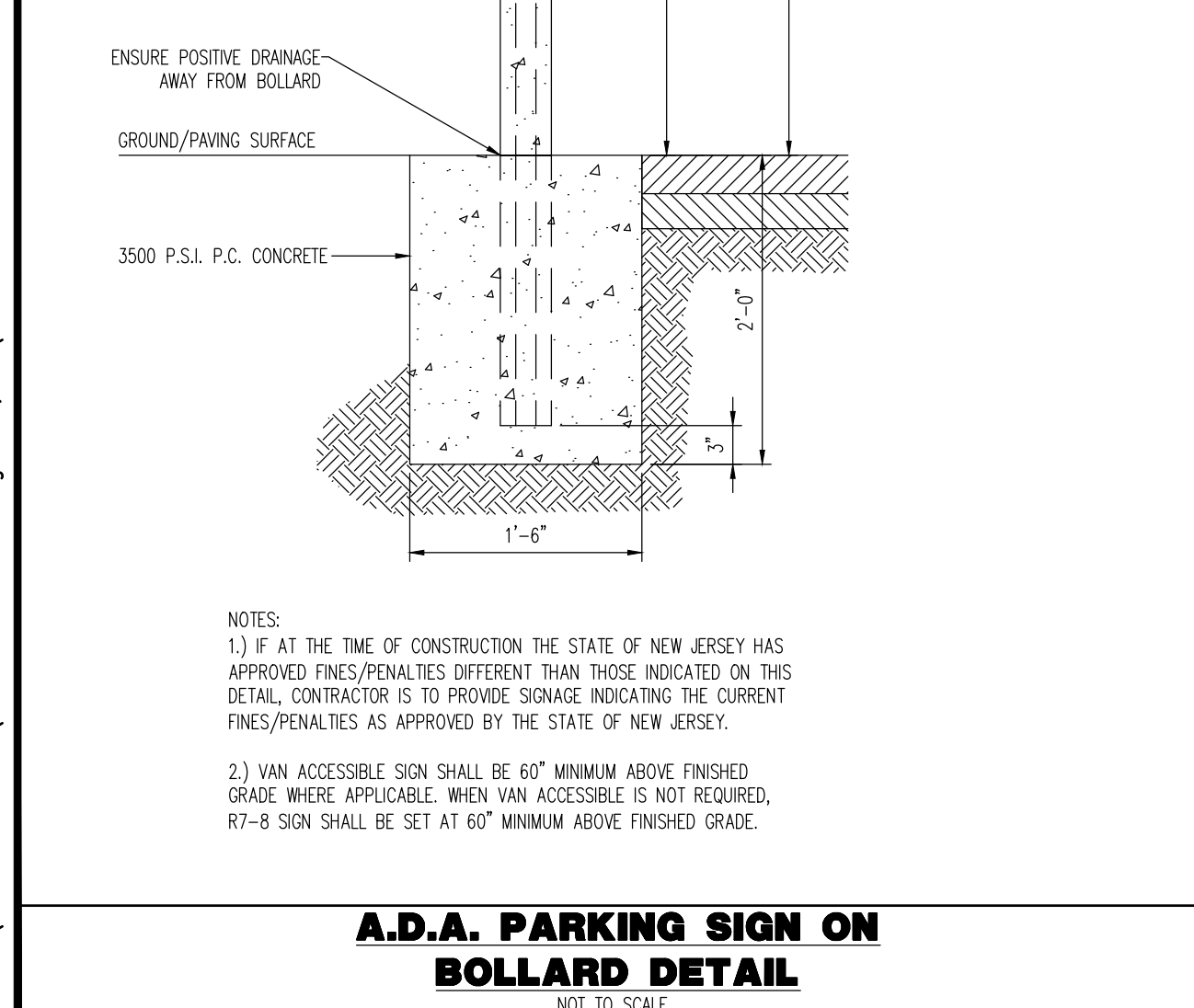
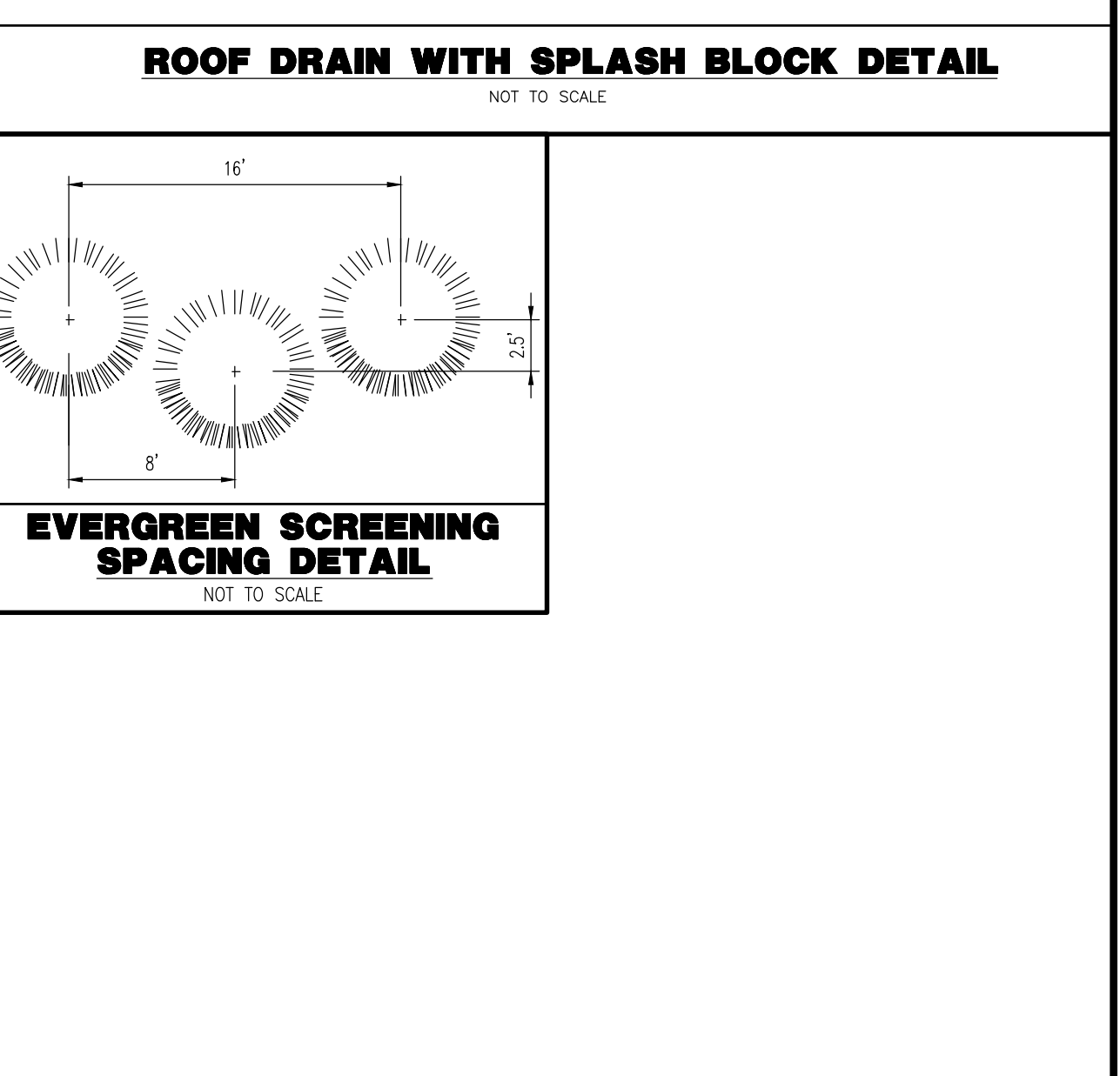
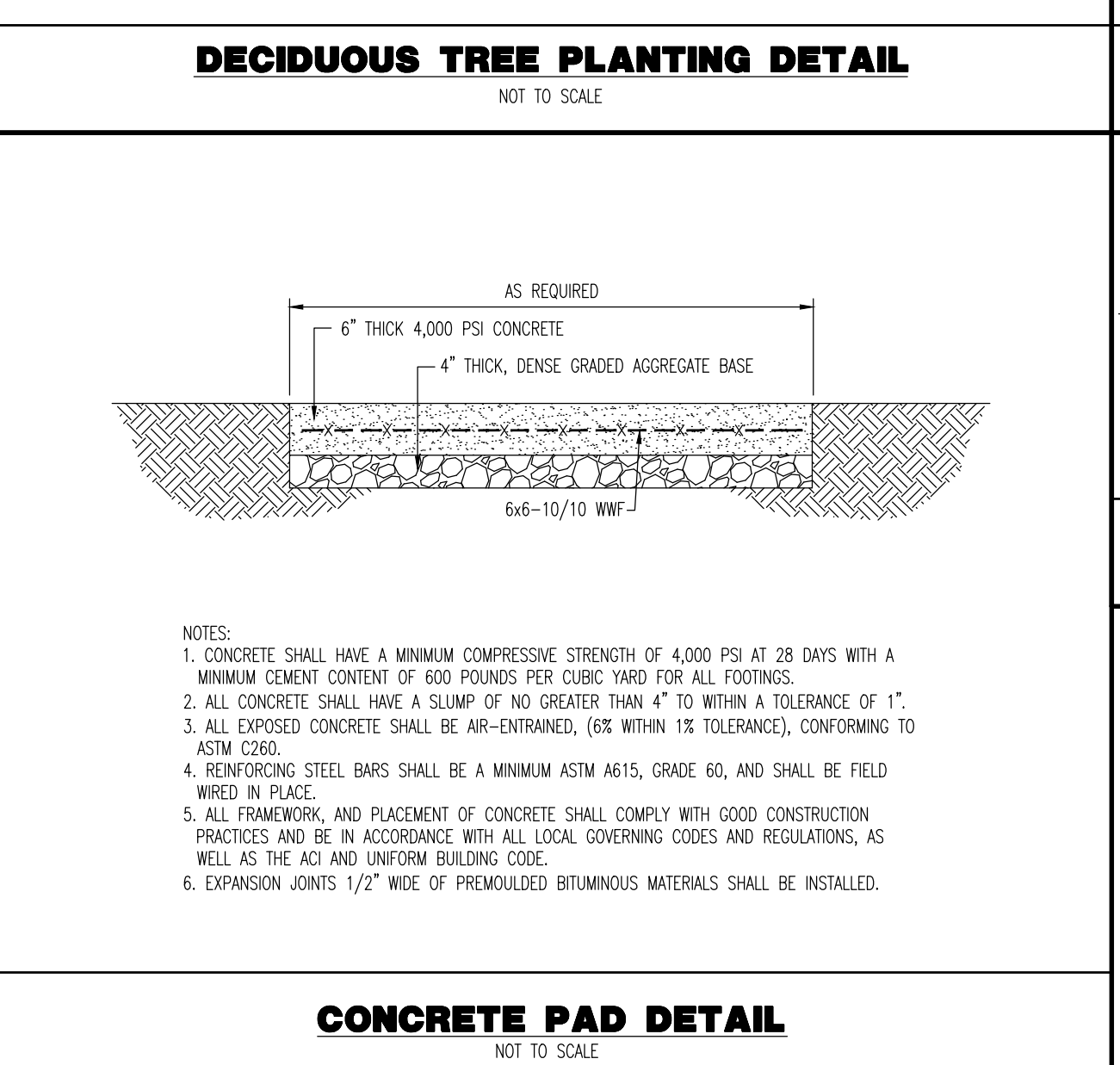
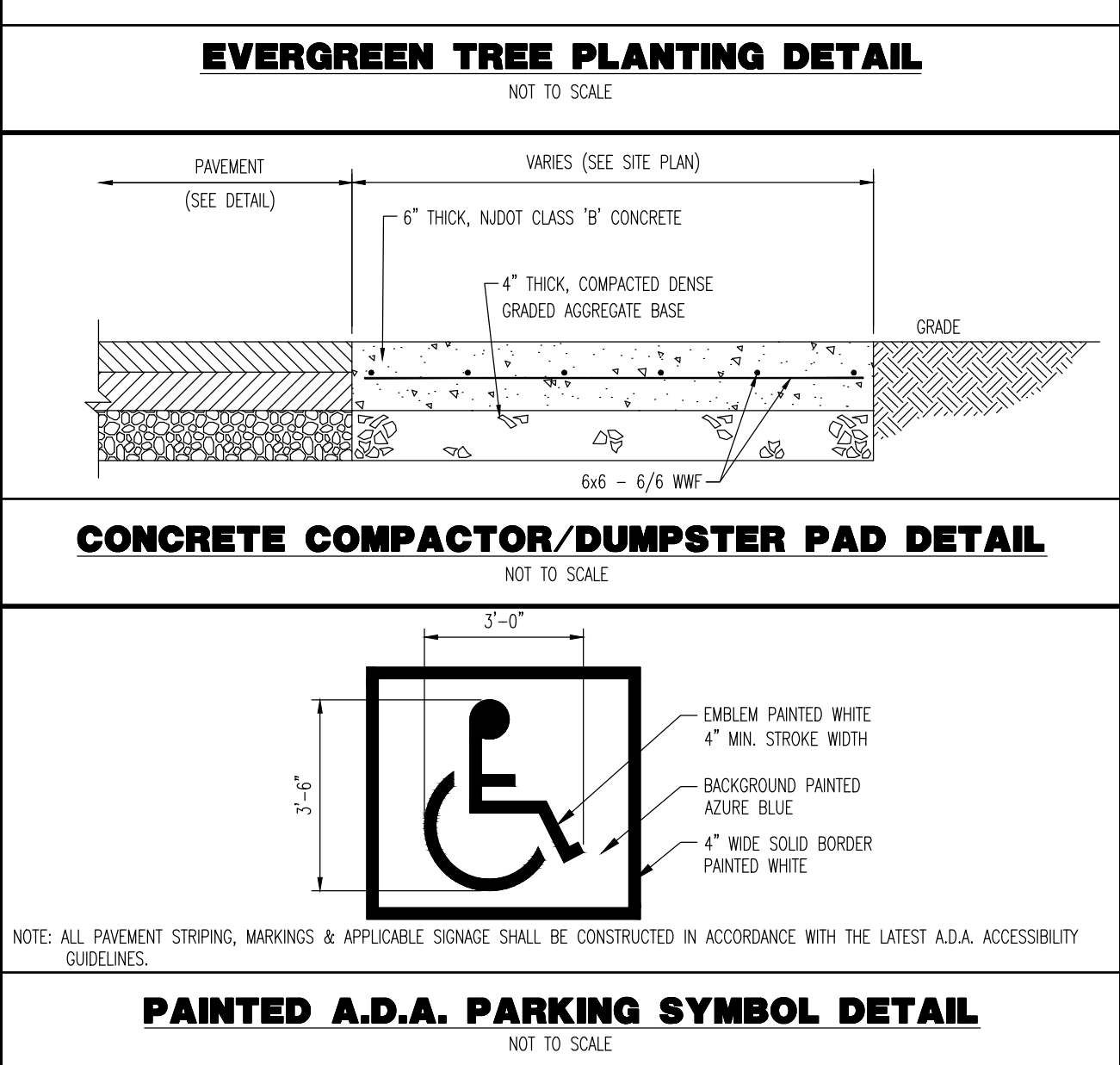
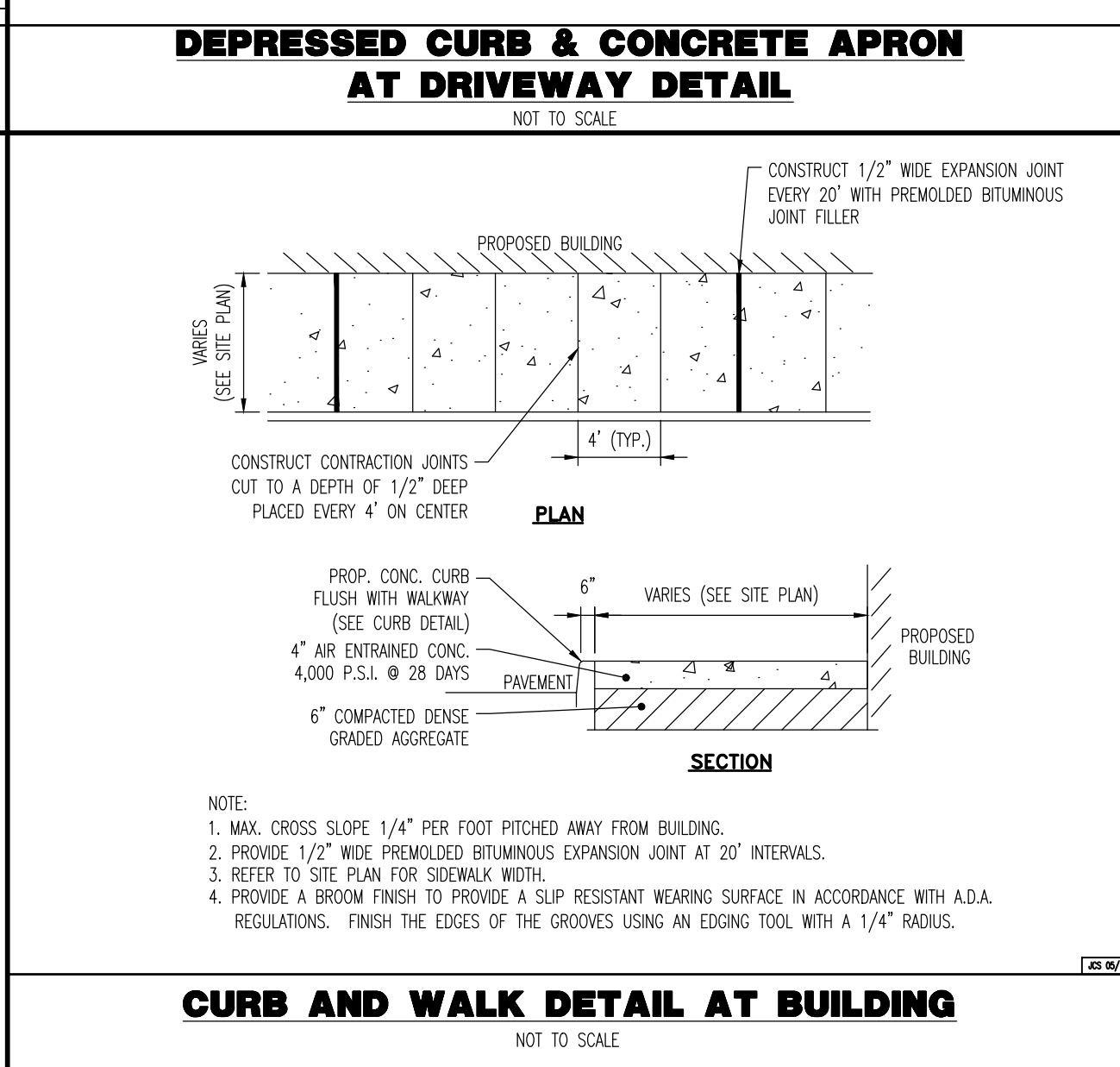
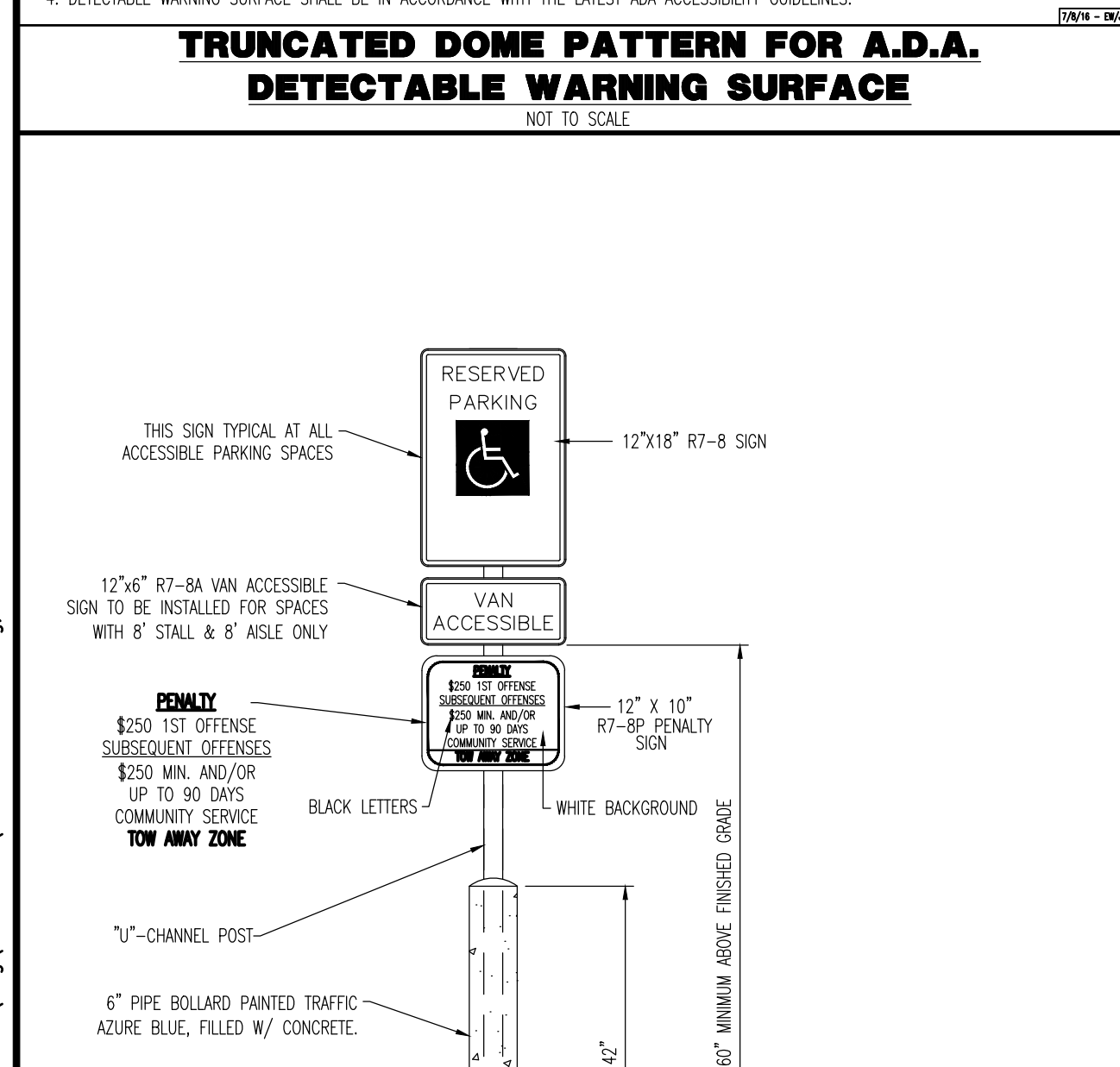
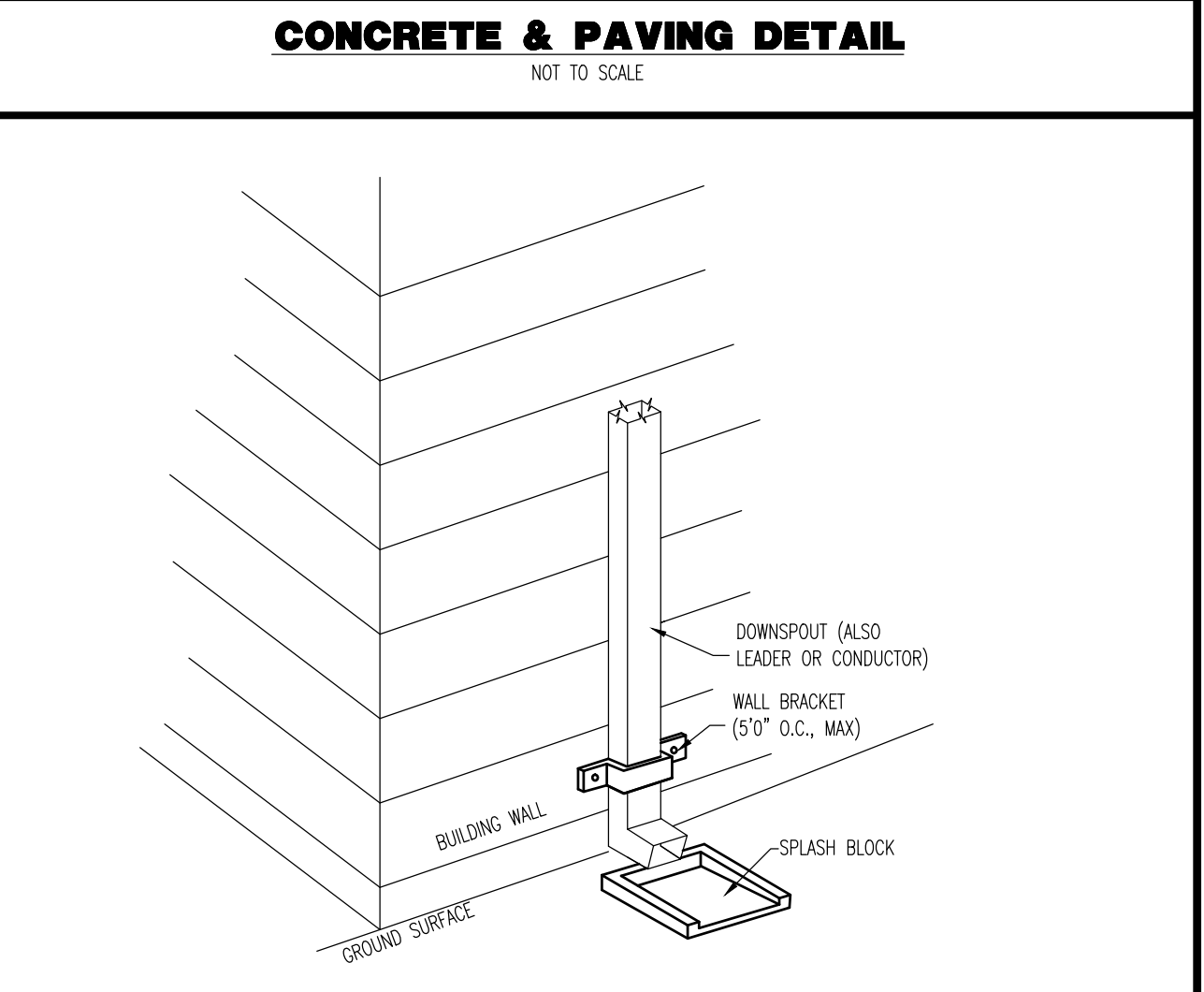
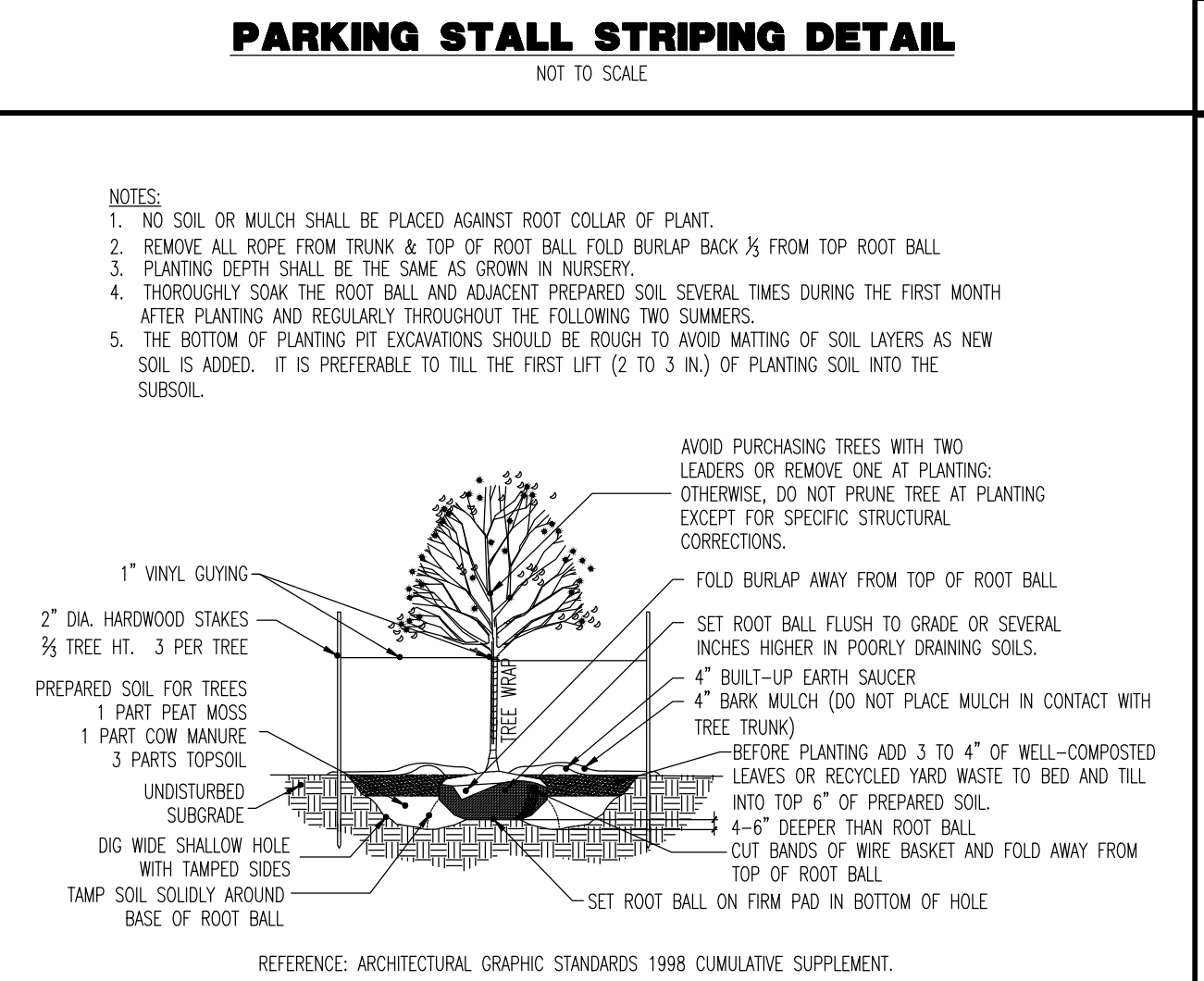
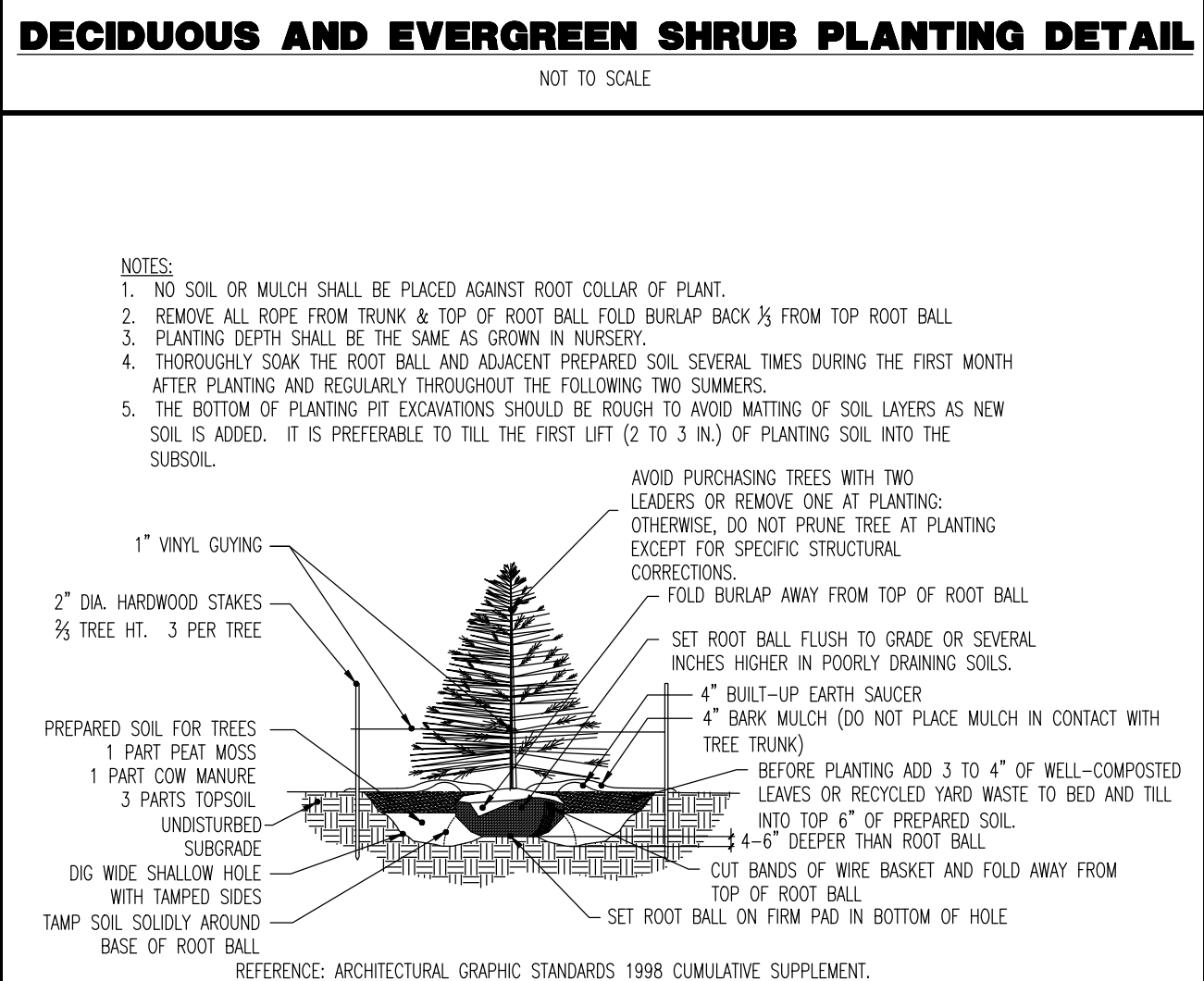
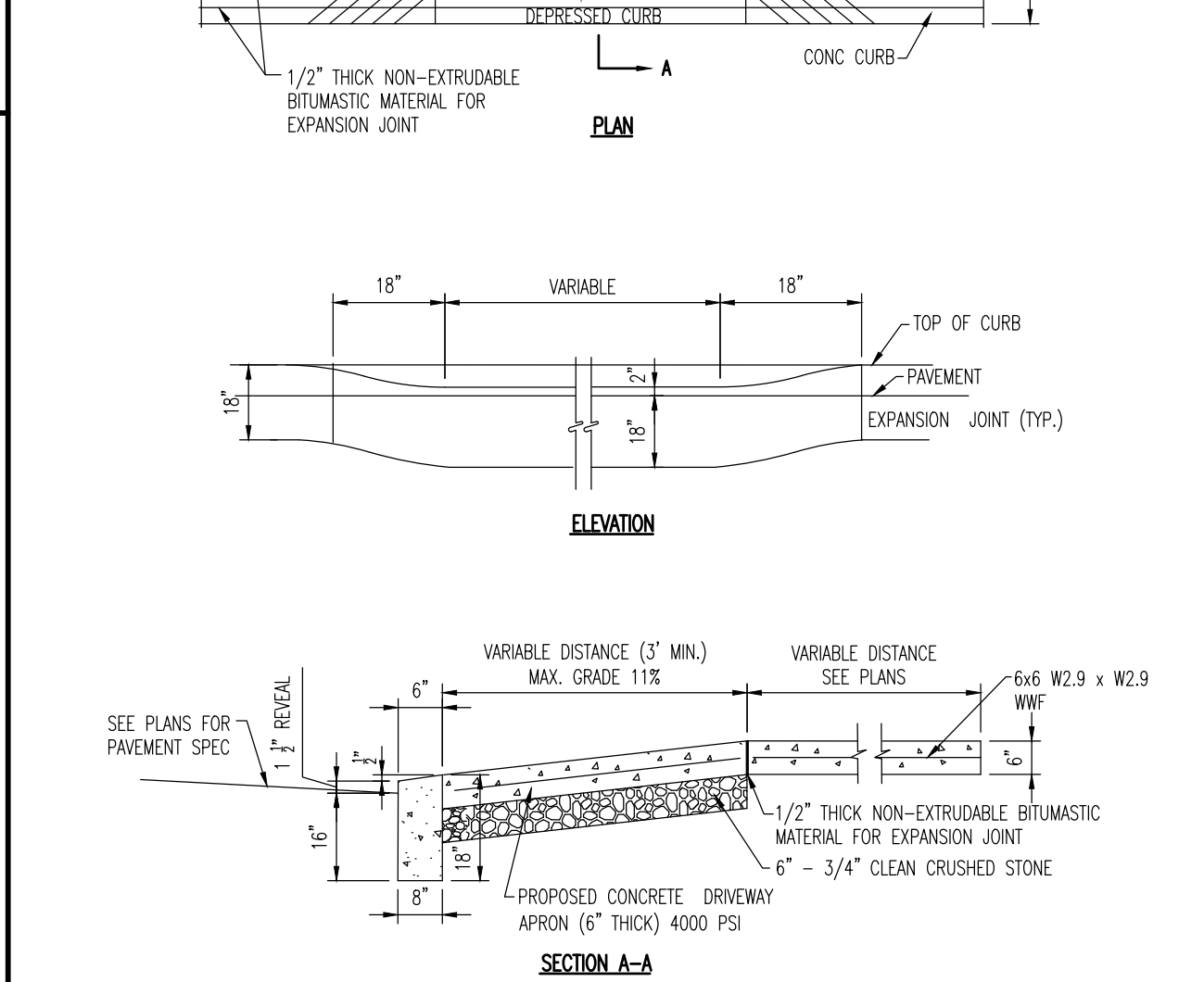
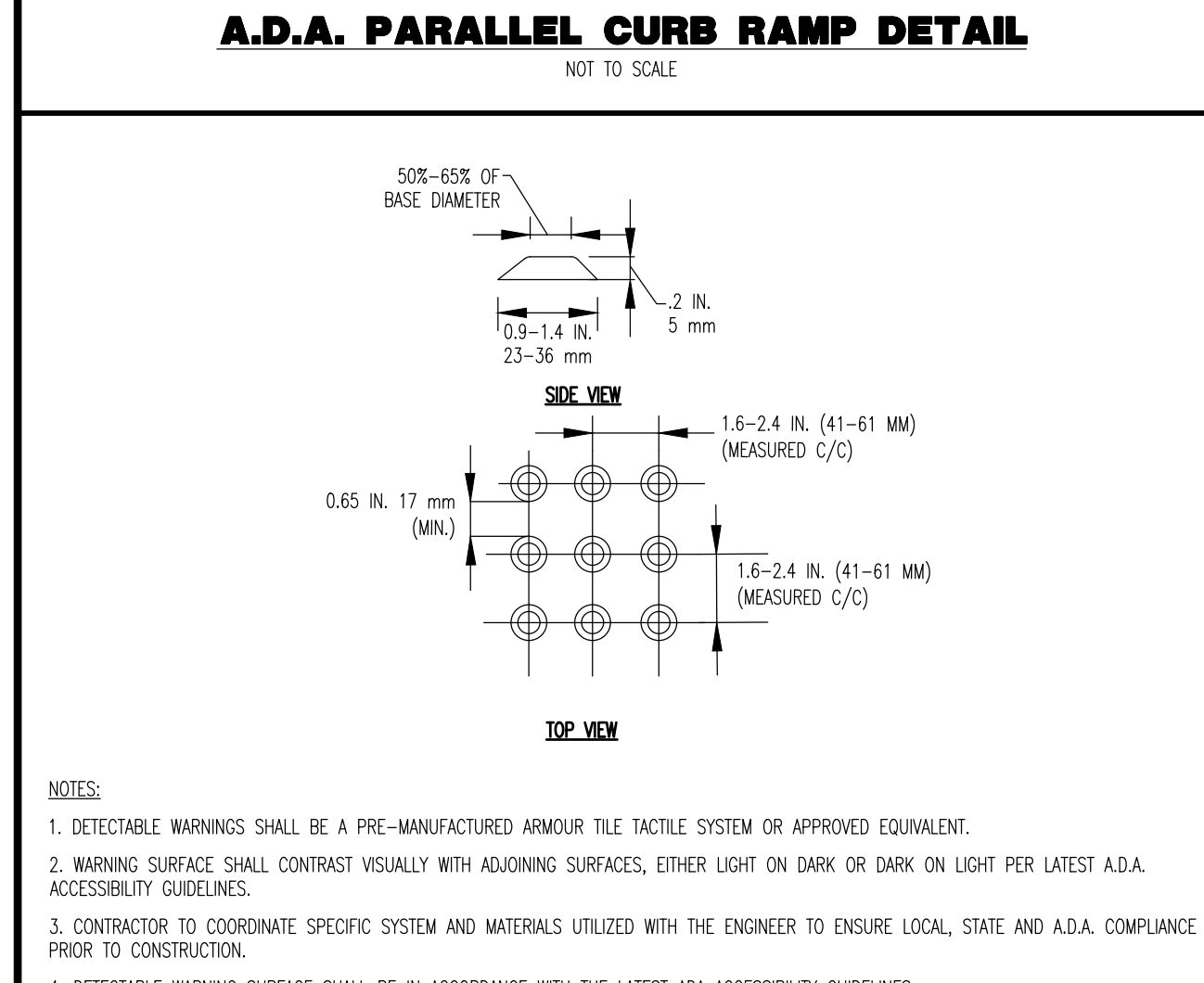
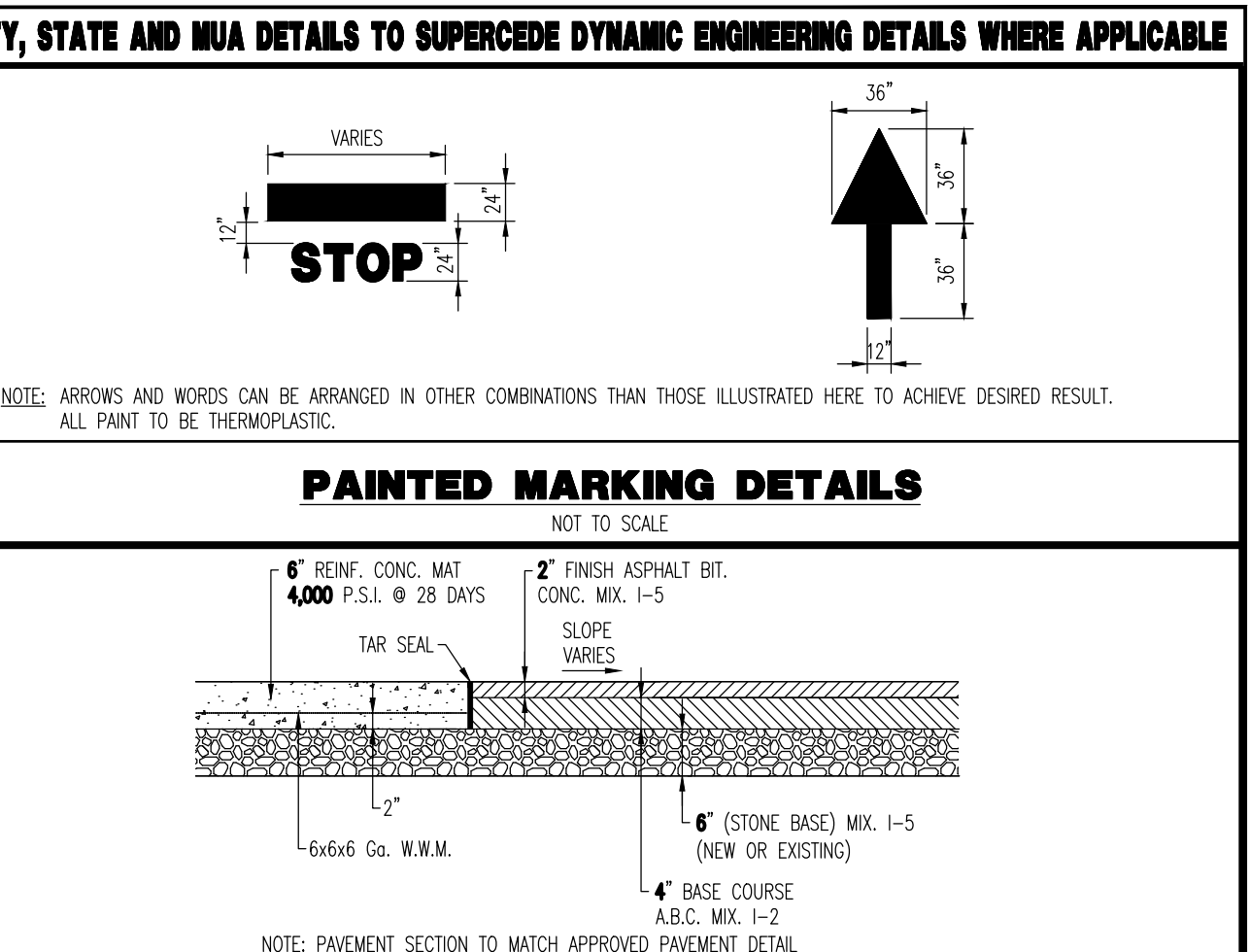
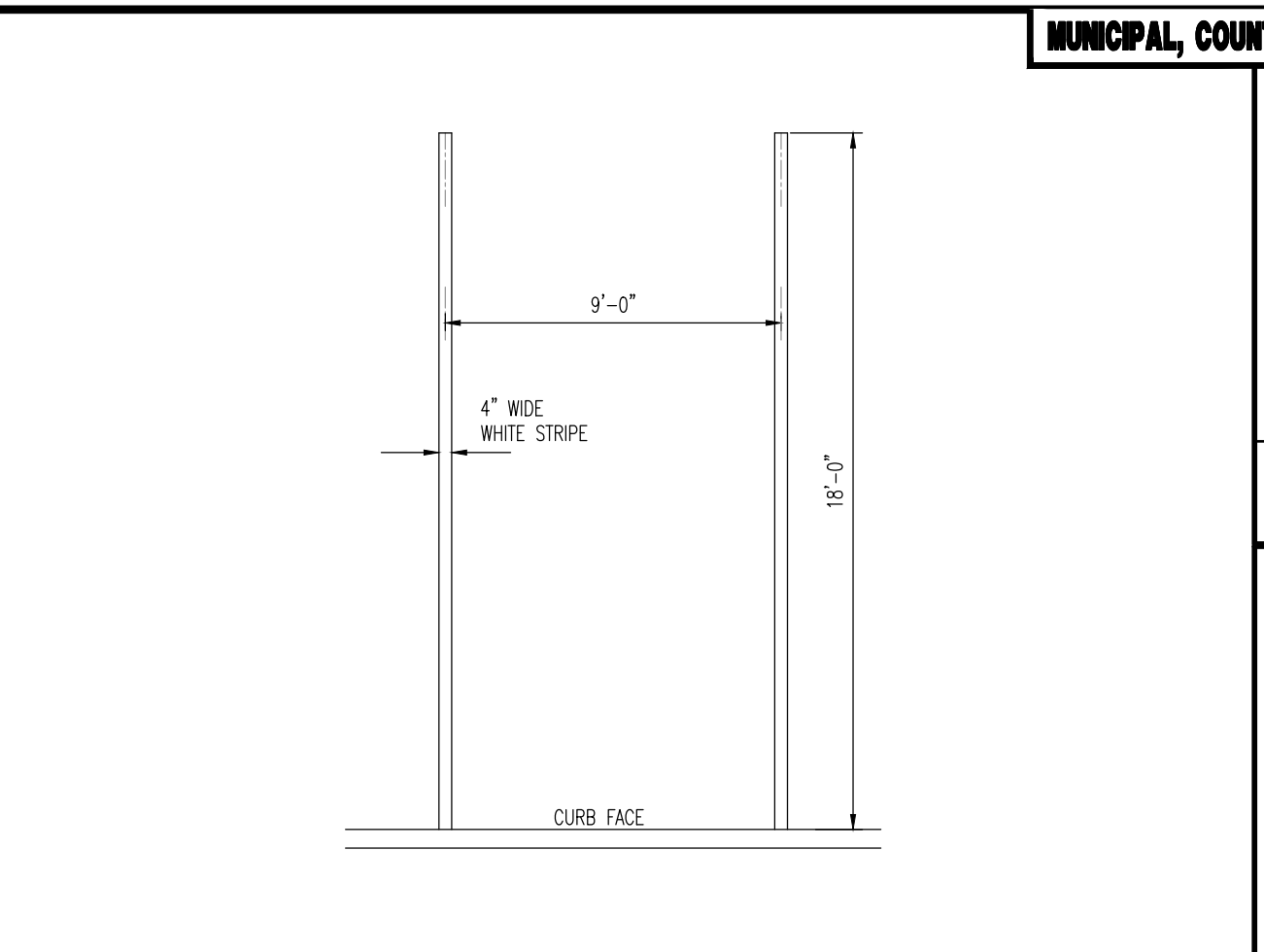
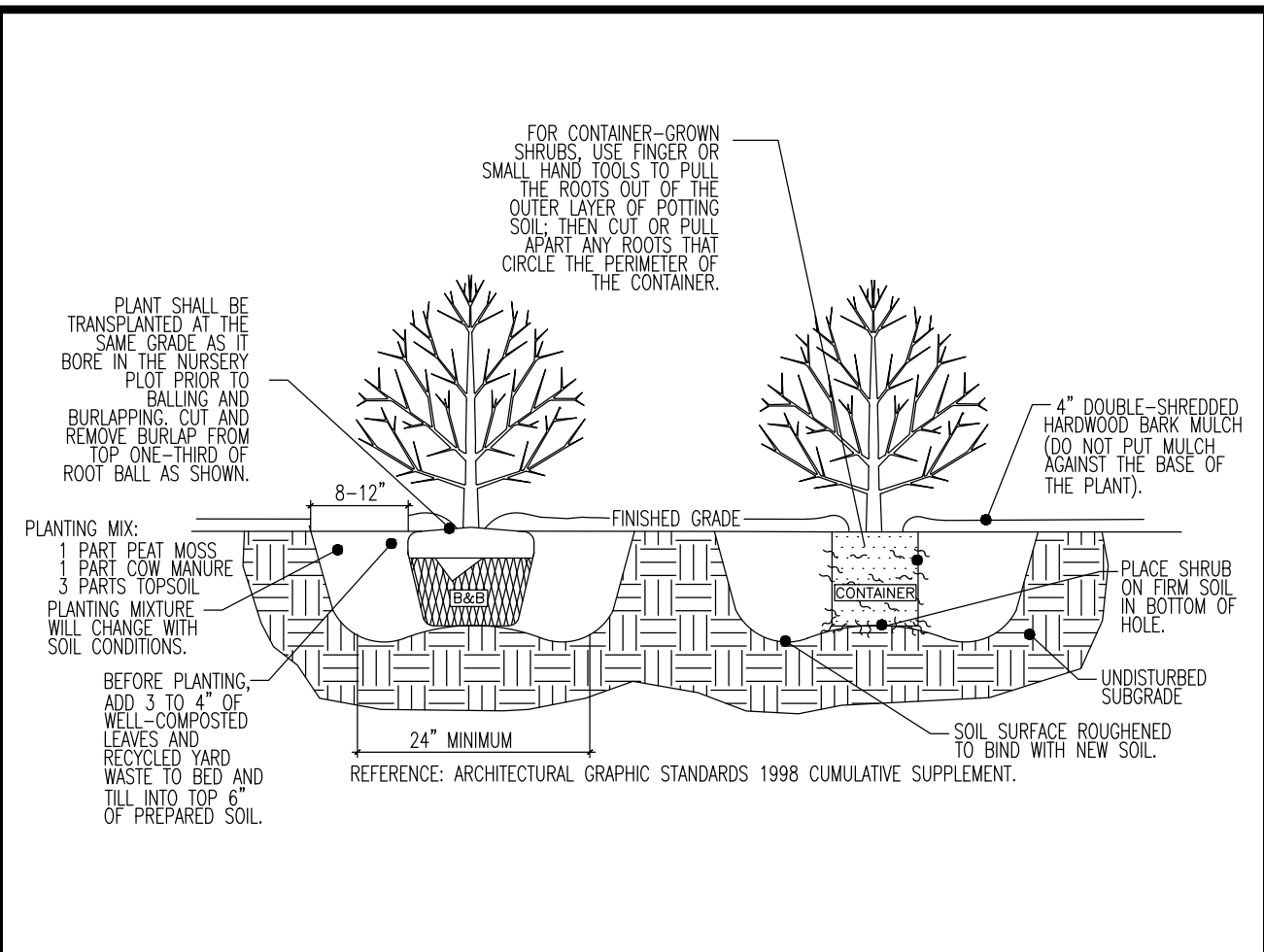
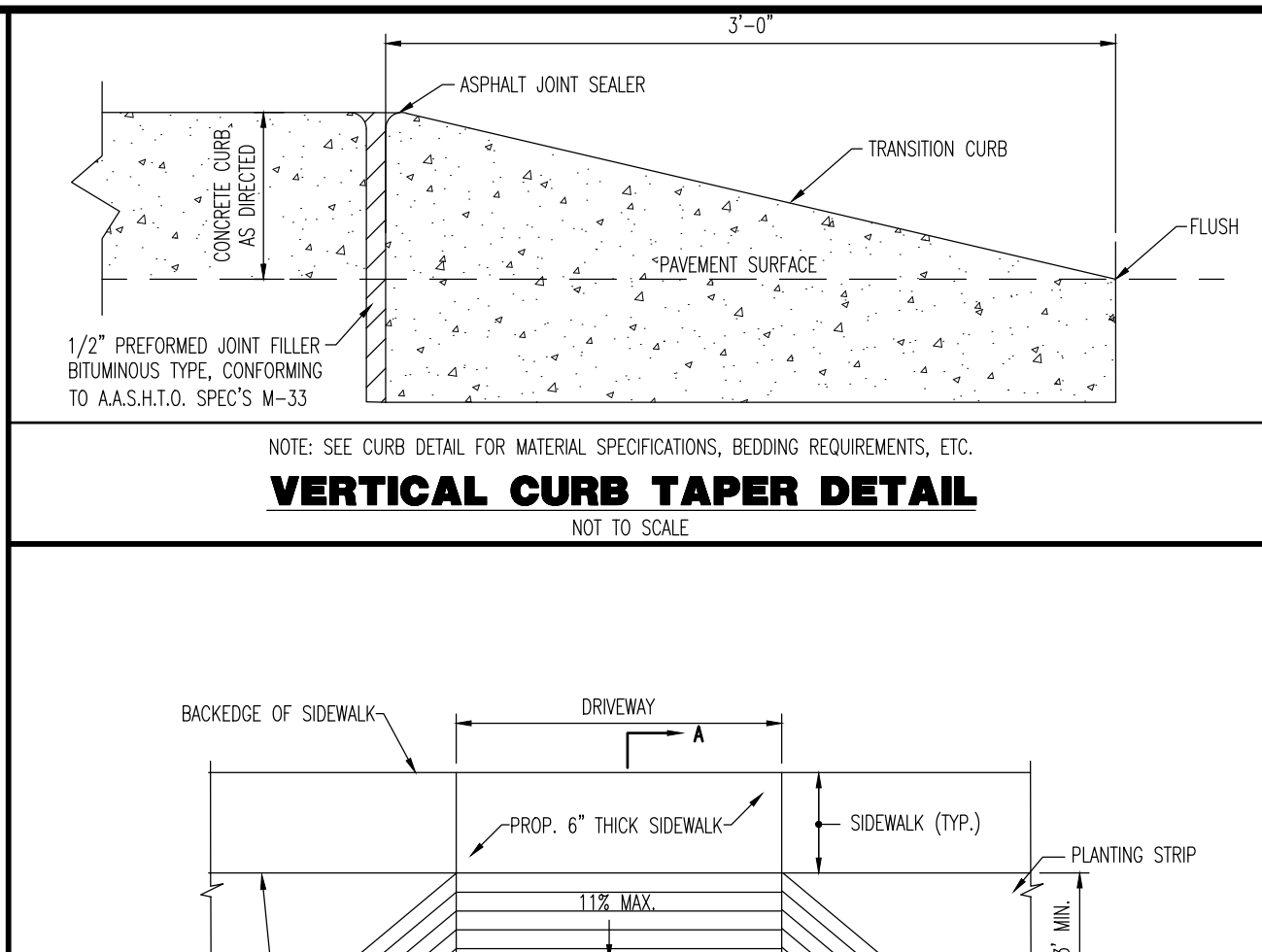
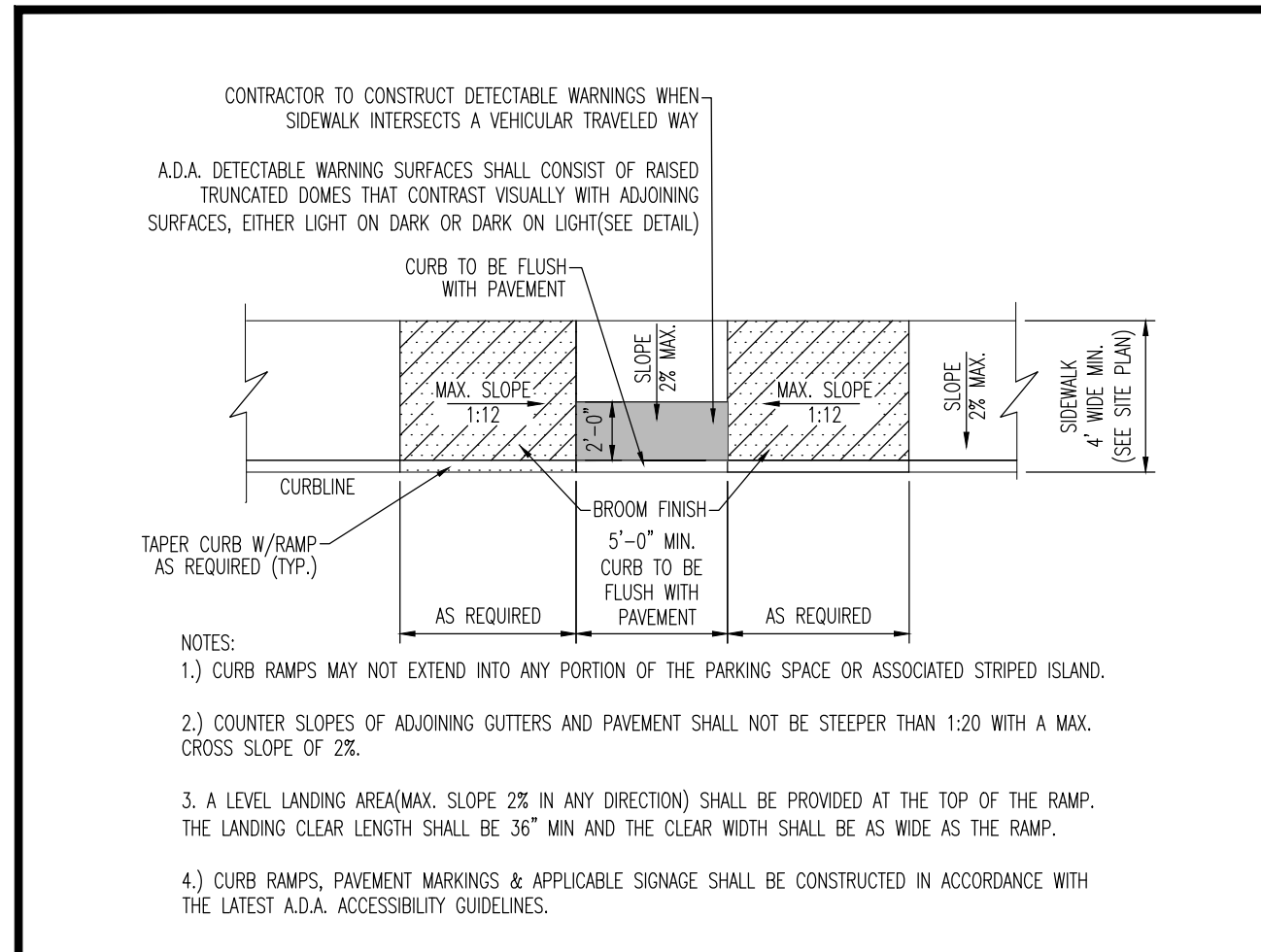
THOMAS J. MULLER
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

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Plotted: 01/08/21 12:14 PM By: kgrov, Product Ver: 23.1s (LMS Tech) File: P:\BECPC PROJECTS\2871 Rec'd Deal Management, Inc\99-004 Jackson 498 Herman Road\Draw\Site Plans\287199004S01.dwg, 11 CONSTRUCTION DETAILS



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Newtown, Pennsylvania | 1.202.685.0274 | Delray Beach, Florida | 1.561.921.8570

TITLE: **CONSTRUCTION DETAILS**

PROJECT: **498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE**

BLOCK: 2301, LOT 10
498 HERMAN ROAD
TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

JOB No: 2871-99-004
DATE: 11/23/2020
DRAWN BY: AJH
DESIGNED BY: LPG
CHECKED BY: TJM
SCALE: (H) NOT TO (V) SCALE
SHEET No: 12 OF 15

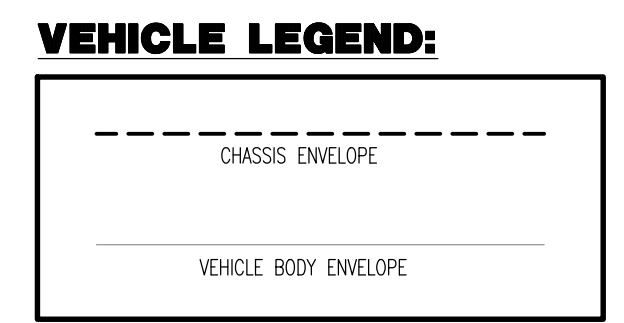
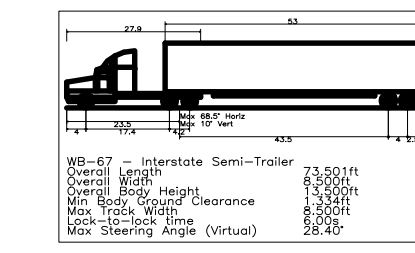
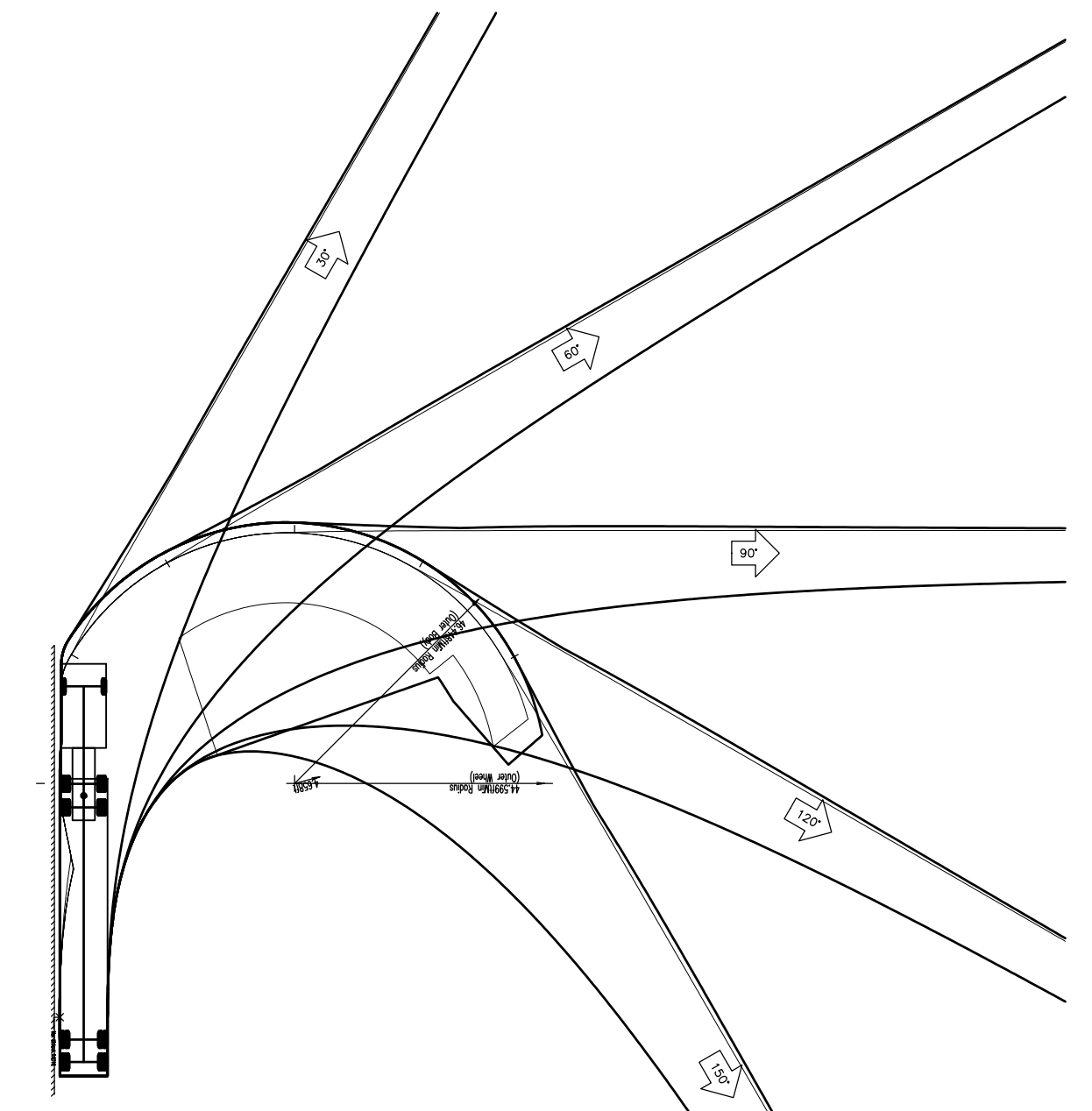
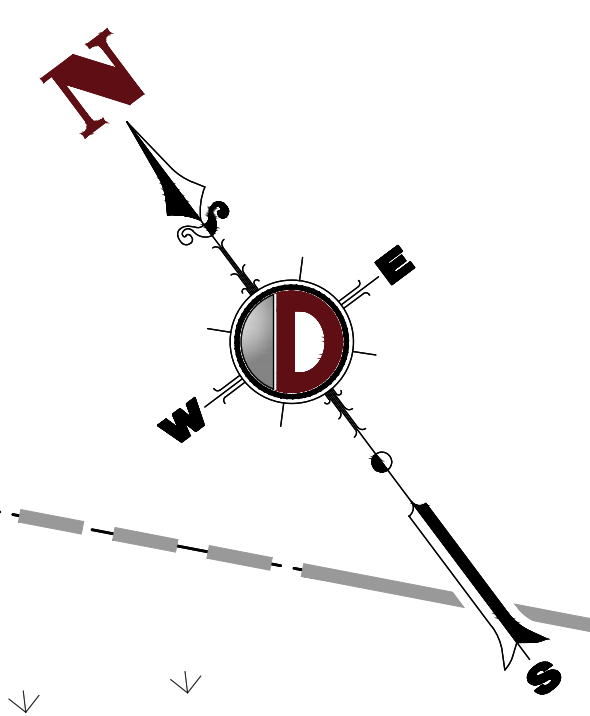
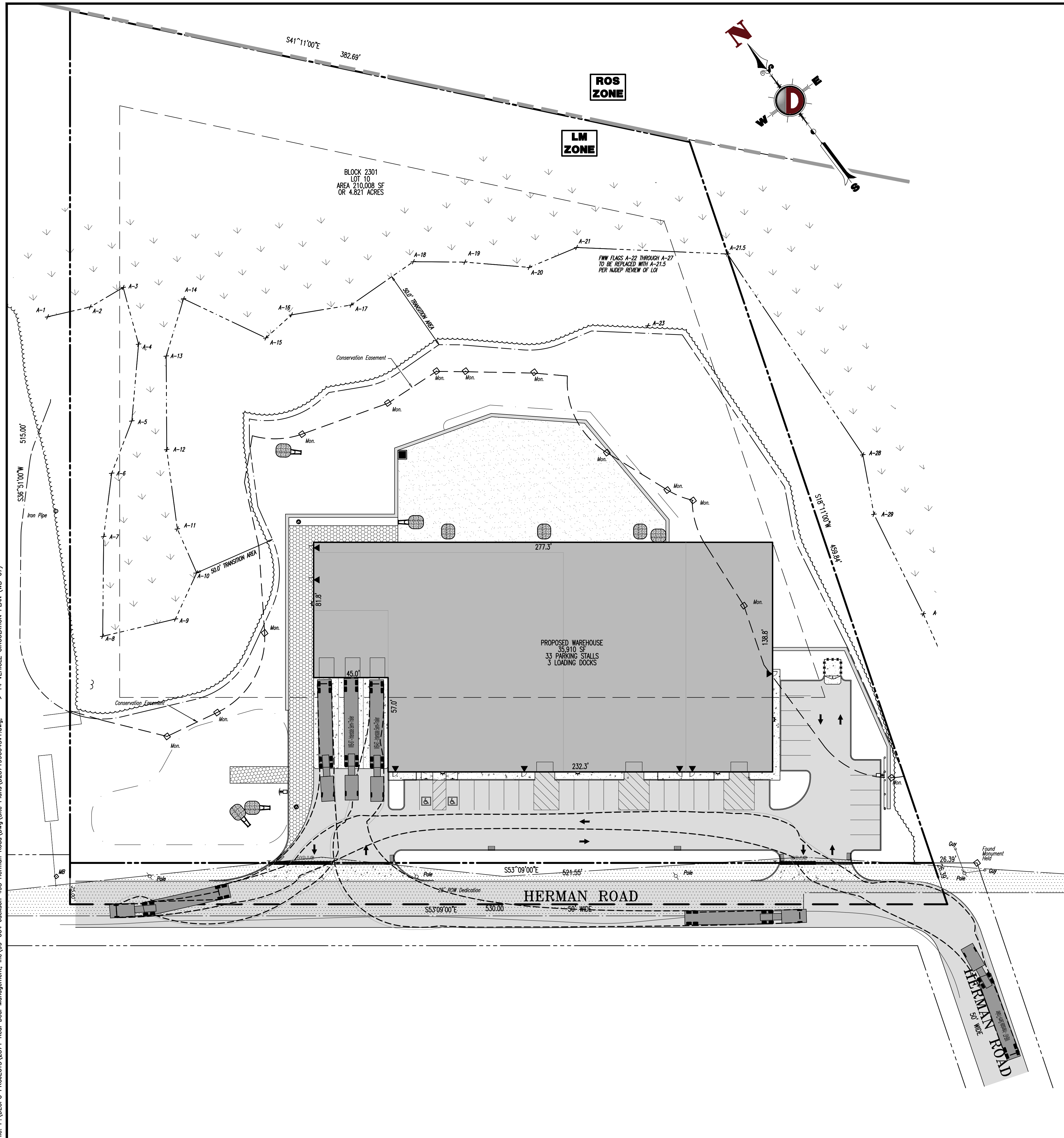
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NEW JERSEY LICENSE No. 52179

JOHN A. PALUS
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41975

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TITLE: **VEHICLE CIRCULATION PLAN (WB-67)**

PROJECT: **498 HERMAN JACKSON, LLC**
PROPOSED WAREHOUSE
 BLOCK 2301, LOT 10
 498 HERMAN ROAD
 TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY

JOB No: 2871-99-004 DATE: 11/23/2020

DRAWN BY: GMC SCALE: (H) 1"=30'
 DESIGNED BY: LPG (V)

CHECKED BY: TJM SHEET No:

BY: -

THOMAS J. MULLER

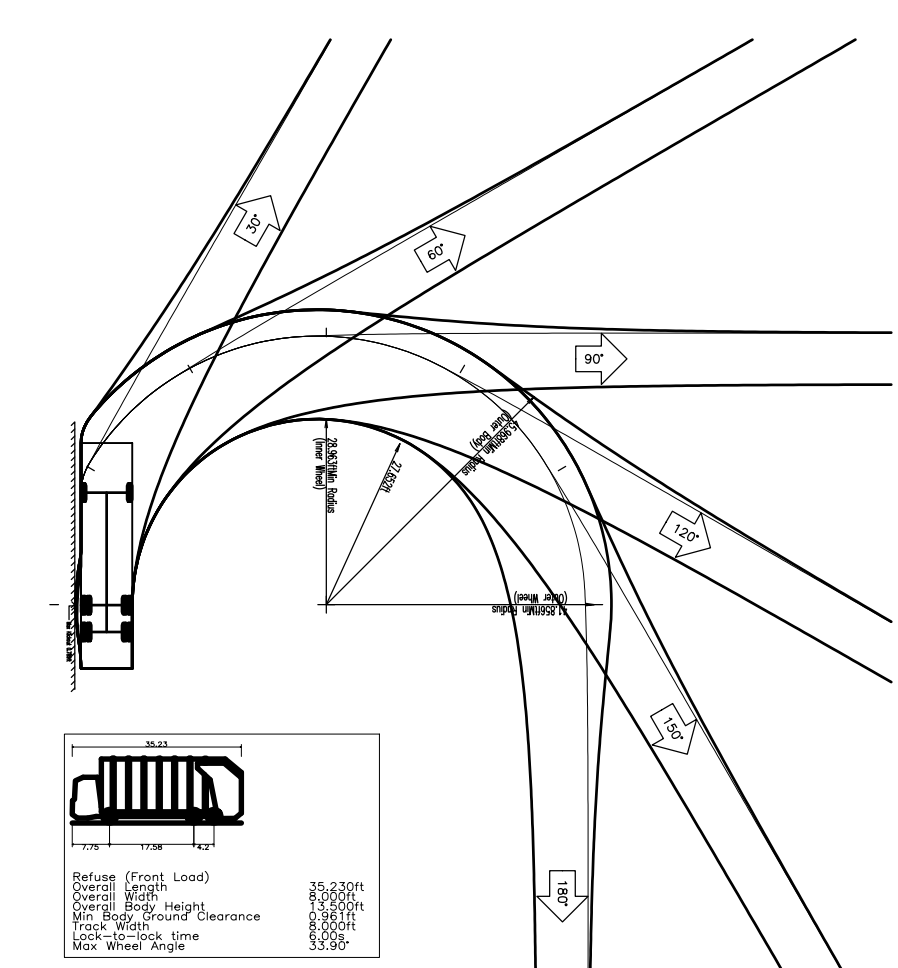
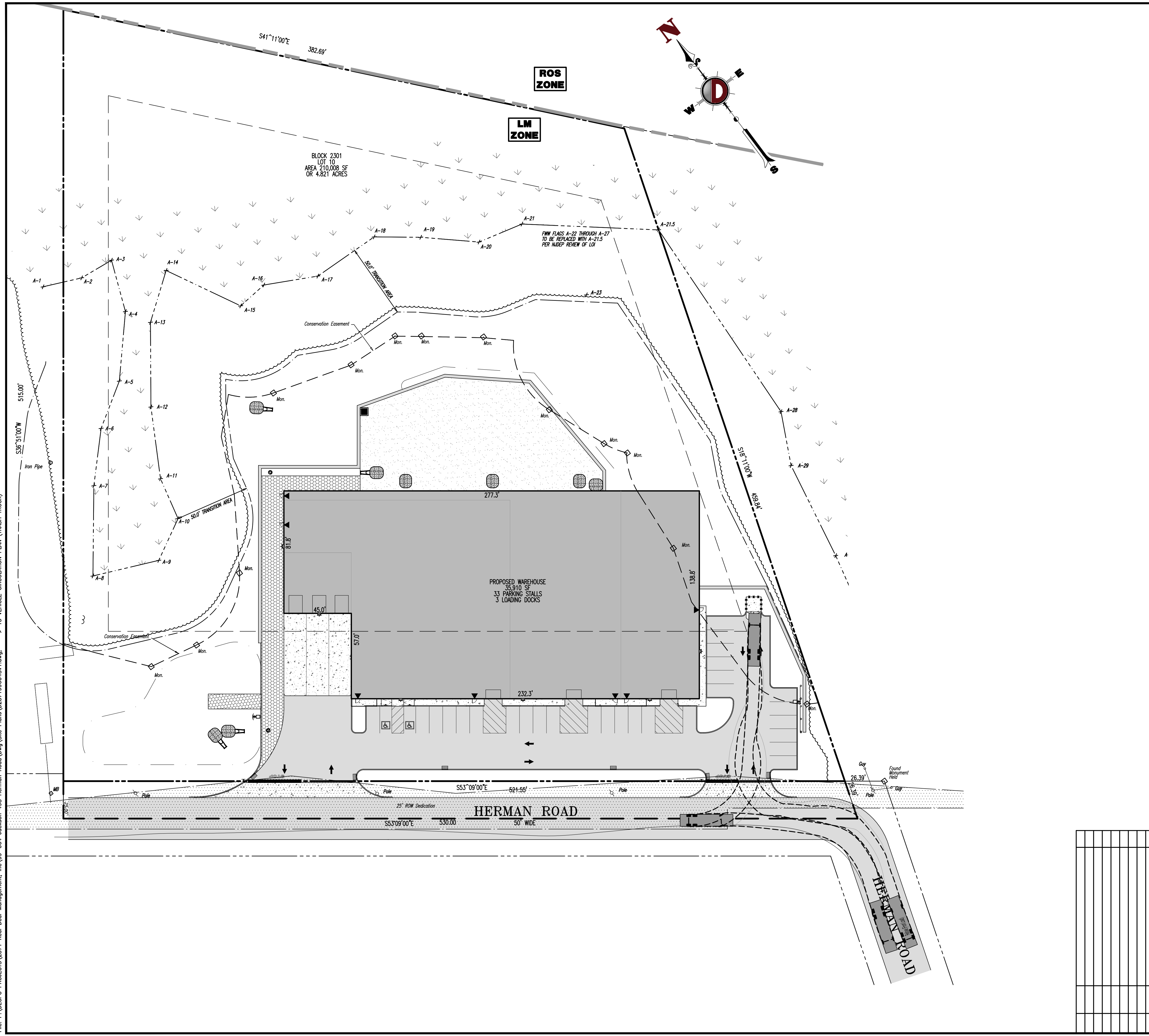
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 NEW JERSEY LICENSE No. 52179

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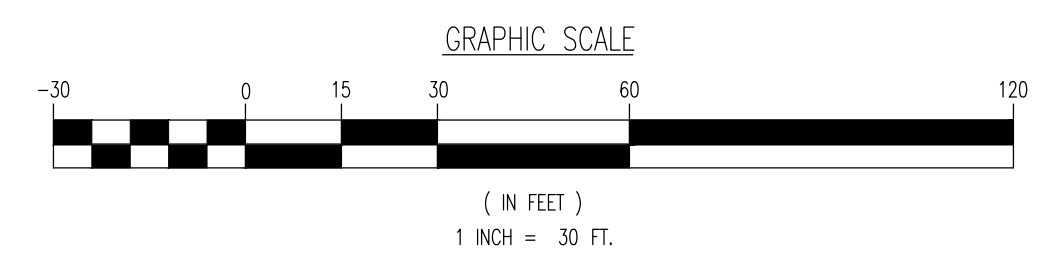
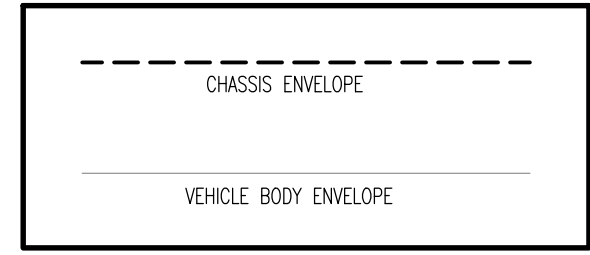
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14
OF 15

Rev. # 1



VEHICLE LEGEND:



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 New Orleans, Louisiana | 1-227-865-0274 | Dallas, Texas | 1-940-921-8570

TITLE: VEHICLE CIRCULATION PLAN (TRASH TRUCK)	
PROJECT: 498 HERMAN JACKSON, LLC PROPOSED WAREHOUSE	JOB No: 2871-99-004
BLOCK: 2301, LOT 10 498 HERMAN ROAD TOWNSHIP OF JACKSON, OCEAN COUNTY, NEW JERSEY	DATE: 11/23/2020
DRAWN BY: GMC	SCALE: (H) 1"=30' (V)
DESIGNED BY: LPG	SHEET No:
CHECKED BY: TJM	<h1 style="font-size: 2em; margin: 0;">15</h1>
CHECKED BY: -	
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